

APPLICABLE CODES

BUILDING	2015	INTERNATIONAL BUILDING CODE
MECHANICAL	2015	INTERNATIONAL MECHANICAL CODE
ELECTRICAL	2014	NATIONAL ELECTRICAL CODE
PLUMBING	2015	INTERNATIONAL PLUMBING CODE
FIRE - LIFE SAFETY	2015	INTERNATIONAL FIRE CODE
ENERGY	2015	INTERNATIONAL ENERGY CONSERVATION CODE
ACCESSIBILITY	2009	INTERNATIONAL BUILDING CODE ACCESSIBILITY & USABILITY

GENERAL EXISTING BUILDING DATA

SECTION 302 BUILDING USE AND OCCUPANCY GROUP		
EXISTING USE (ALL FLOORS)	B - BUSINESS	
PROPOSED USE (1st FLOOR)	B - BUSINESS (NO CHANGE)	
PROPOSED USE (2ND AND 3RD FLOORS)	R-2 - RESIDENTIAL	

SECTION 508 MIXED USE AND OCCUPANCY, BUSINESS AND RESIDENTIAL		
SECTION 508.3 NONSEPARATED OCCUPANCIES	NO	
SECTION 508.4 SEPARATED OCCUPANCIES	YES	

ALLOWABLE HEIGHT AND AREA (TYPE VB CONSTRUCTION, SPRINKLERED)
EXISTING: 3 STORIES, 31'-0" MAX. ABOVE GRADE, 6,579 GSF (2,193 PER FLOOR)

TABLE 504.3 - HEIGHT	ALLOWED	PROPOSED
B OCCUPANCY	60'	11' MAX.
R-2 OCCUPANCY	60'	31' MAX.
TABLE 504.4 - STORIES AGP		
B OCCUPANCY	3	1 (EXISTING)
R-2 OCCUPANCY	3	2
TABLE 506.2 - AREA		
B OCCUPANCY	36,000 GSF	2,193 GSF (EXISTING)
R-2 OCCUPANCY	21,000 GSF	3,974 GSF (EXISTING)
SECTION 602 CONSTRUCTION CLASSIFICATION	VB	
SECTION 903 AUTOMATIC SPRINKLER SYSTEM	YES	
SECTION 907 FIRE ALARM AND DETECTION SYSTEM	YES	

OCCUPANCY LOAD CALCULATION BY SPACE USE

TABLE 1004.1.2 DESIGN OCCUPANT LOAD AT 1 OCCUPANT PER 200 GSF	ALLOWED	PROPOSED
R-2 RESIDENTIAL	20	7

EGRESS

SECTION 1005.2 MINIMUM REQUIRED EGRESS WIDTH		
STAIR (1005.3.1)	3 X 20 = 6"	
OTHER (1005.3.2)	2 X 20 OCC. = 4" (44" MIN. NEW, 40" EXISTING)	
SECTION 1006 MIN. NUMBER OF EXITS REQUIRED	1 ALLOWED PER TABLES 1006.2.1 AND 1006.3.2(1)	
SECTION 1006 EXIT ACCESS (STORIES WITH ONE EXIT) - TABLE 1006.3.2(1) PROPOSED COMMON PATH OF TRAVEL DISTANCE FROM UNIT	ALLOWED	PROPOSED
R-2 RESIDENTIAL (MAX. 4 DWELLING UNITS PER STORY)	125' MAX.	56' MAX.
SECTION 1010.1.1 EGRESS DOOR WIDTH	32" MIN. CLEAR REQUIRED AND PROVIDED	
SECTION 1011 STAIRWAY WIDTH	44" MIN. NEW, 40" EXISTING	
SECTION 1017 EXIT ACCESS TRAVEL DISTANCE - TABLE 1017.2	ALLOWED	PROPOSED
R-2 RESIDENTIAL	200' MAX.	102' MAX.
SECTION 1020.2 CORRIDOR WIDTH	44" MIN. PROVIDED	

BUILDING FIRE RESISTANCE RATINGS - TYPE VB

TABLE 601	REQUIRED	PROVIDED**
STRUCTURAL FRAME	0 HOURS	0 HOURS
BEARING WALLS		
INTERIOR	0 HOURS	0 HOURS
EXTERIOR	0 HOURS	0 HOURS
NON-BEARING WALLS AND PARTITIONS		
EXTERIOR	0 HOURS	0 HOURS
NON-BEARING WALLS AND PARTITIONS		
INTERIOR	0 HOURS	0 HOURS
FLOOR CONSTRUCTION		
INCLUDING SUPPORTING BEAMS AND JOISTS	0 HOURS	0 HOURS
ROOF CONSTRUCTION		
INCLUDING SUPPORTING BEAMS AND JOISTS	0 HOURS	0 HOURS
** EXCEPT AS REQUIRED BY OTHER PORTIONS OF THE CODE. SEE NOTES BELOW.		
TABLE 602 FIRE RATING OF EXTERIOR WALLS BASED ON SEPARATION DISTANCE		
X < 5'	1 HOUR	1 HOUR EXISTING
5' ≤ X ≤ 10'	1 HOUR	1 HOUR EXISTING
10' ≤ X ≤ 30'	0 HOURS	0 HOURS
X ≥ 30'-0"	0 HOURS	0 HOURS

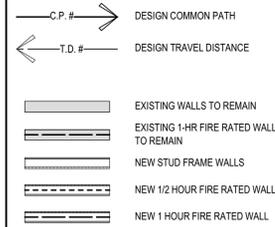
FIRE WALLS

TABLE 706.4 FIRE WALL FIRE RESISTANCE RATINGS	2 HOURS	2 HOURS (EXISTING)
---	---------	--------------------

FIRE BARRIERS

SECTION 707.3.9 FIRE AREAS		
TABLE 508.4 FIRE RESISTANCE RATING BETWEEN OCCUPANCIES B - BUSINESS / R-2 RESIDENTIAL	1 HOUR	1 HOUR
SECTION 708 FIRE PARTITIONS		
SECTION 708.3.2 FIRE RESISTANCE RATING BETWEEN DWELLING/SLEEPING UNITS R-2 RESIDENTIAL	1/2 HOUR	1/2 HOUR
SECTION 711 FLOOR AND ROOF ASSEMBLIES		
SECTION 711.2.4.3 FIRE RESISTANCE RATING BETWEEN DWELLING/SLEEPING UNITS R-2 RESIDENTIAL	1/2 HOUR	1/2 HOUR
SECTION 713.4 SHAFT ENCLOSURES	1 HOUR	1 HOUR
SECTION 1023.2 INTERIOR EXIT STAIRWAYS AND RAMPS	1 HOUR	1 HOUR
SECTION 1024.3 EXIT PASSAGEWAYS	1 HOUR	1 HOUR

LIFE SAFETY & EGRESS PLAN LEGEND



FIRE SAFETY NOTES:

ILLUMINATED EXIT SIGNS SHALL BE PROVIDED THROUGHOUT THE MODIFIED BUILDING AREA. ALL EXIT SIGNS SHALL HAVE BATTERY BACKUP.

THIS BUILDING SHALL BE PROVIDED WITH APPROVED BATTERY POWERED EMERGENCY LIGHTING TO ILLUMINATE ALL REQUIRED MEANS OF EGRESS.

DOORS SHALL BE ARRANGED TO BE OPENED READILY FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED. LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE.

EMERGENCY LIGHTING UNITS ARE TO BE WIRED INTO THE NORMAL LIGHTING CIRCUIT AND ARRANGED AS TO PROVIDE THE REQUIRED ILLUMINATION AUTOMATICALLY IN THE EVENT OF ANY INTERRUPTION OF NORMAL LIGHTING SUCH AS ANY FAILURE OF PUBLIC UTILITY OR OUTSIDE ELECTRICAL POWER SUPPLY, OPENING OF A CIRCUIT BREAKER OR FUSE, OR ANY MANUAL ACTS INCLUDING ACCIDENTAL OPENING OF SWITCH CONTROLLING NORMAL LIGHTING FACILITIES.

EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM THE INSIDE OF THE CLOSETS.

EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT OPENING OF THE LOCKED DOOR FROM THE OUTSIDE IN A EMERGENCY. THE OPENING DEVICE SHALL BE READILY ACCESSIBLE TO ANYONE OUTSIDE THE DOOR.

THE ELEVATION OF THE FLOOR SURFACES ON BOTH SIDES OF A DOOR SHALL NOT VARY BY MORE THAN 1/2". THE ELEVATION SHALL BE MAINTAINED ON BOTH SIDES OF THE DOORWAY FOR A DISTANCE NOT LESS THAN THE WIDTH OF THE WIDEST LEAF. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES IN EXCESS OF 1/4" SHALL BE BEVELED WITH A SLOPE OF NOT STEEPER THAN 1 IN 2.

A LATCH OR OTHER FASTENING DEVICE ON A DOOR SHALL BE PROVIDED WITH A RELEASING DEVICE HAVING AN OBVIOUS METHOD OF OPERATION AND THAT IS READILY OPERATED UNDER ALL LIGHTING CONDITIONS. THE RELEASING MECHANISM FOR ANY LATCH SHALL BE NOT LESS THAN 34", AND NOT MORE THAN 48" ABOVE FINISH FLOOR. DOORS SHALL BE OPERABLE WITH NOT MORE THAN ONE RELEASING OPERATION.

PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH NFPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS

FIRE ALARM SYSTEM NOTES:

VERIFY EXISTING FIRE ALARM SYSTEM IS IN FULL COMPLIANCE WITH LOCAL FIRE CODE CHAPTER 907.2 AND NFPA 72.

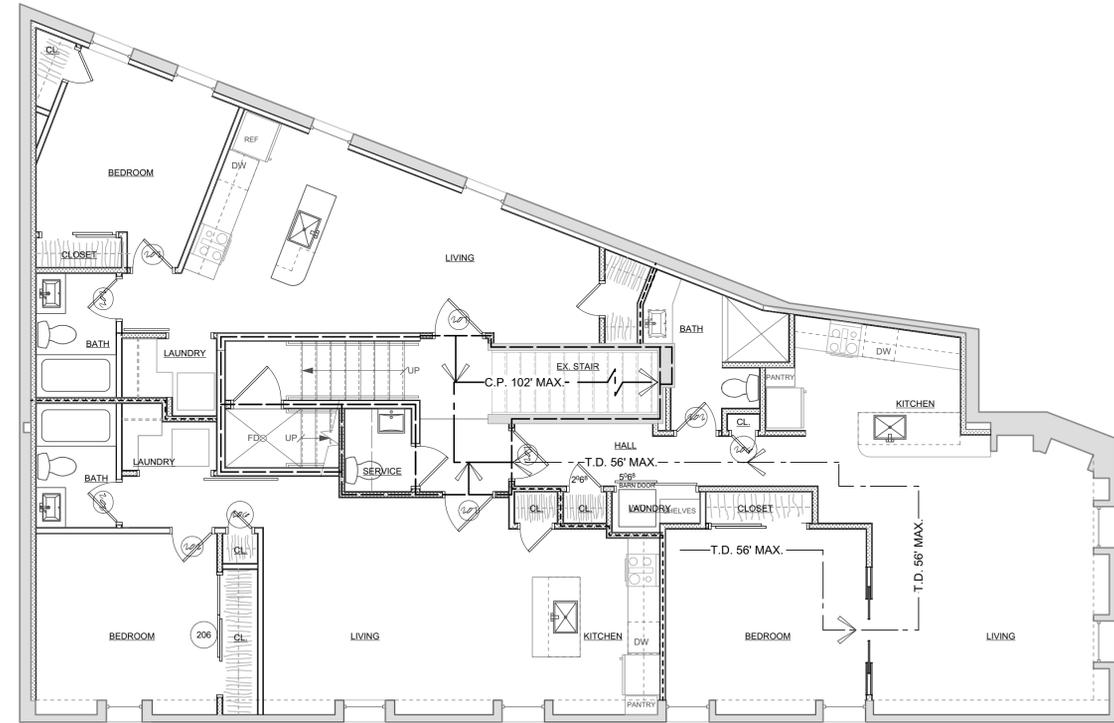
SEE 'FA' SHEET FOR COORDINATION OF NEW SYSTEM WORK WITH EXISTING FIRE ALARM SYSTEM.

FIRE SPRINKLER SYSTEM NOTES:

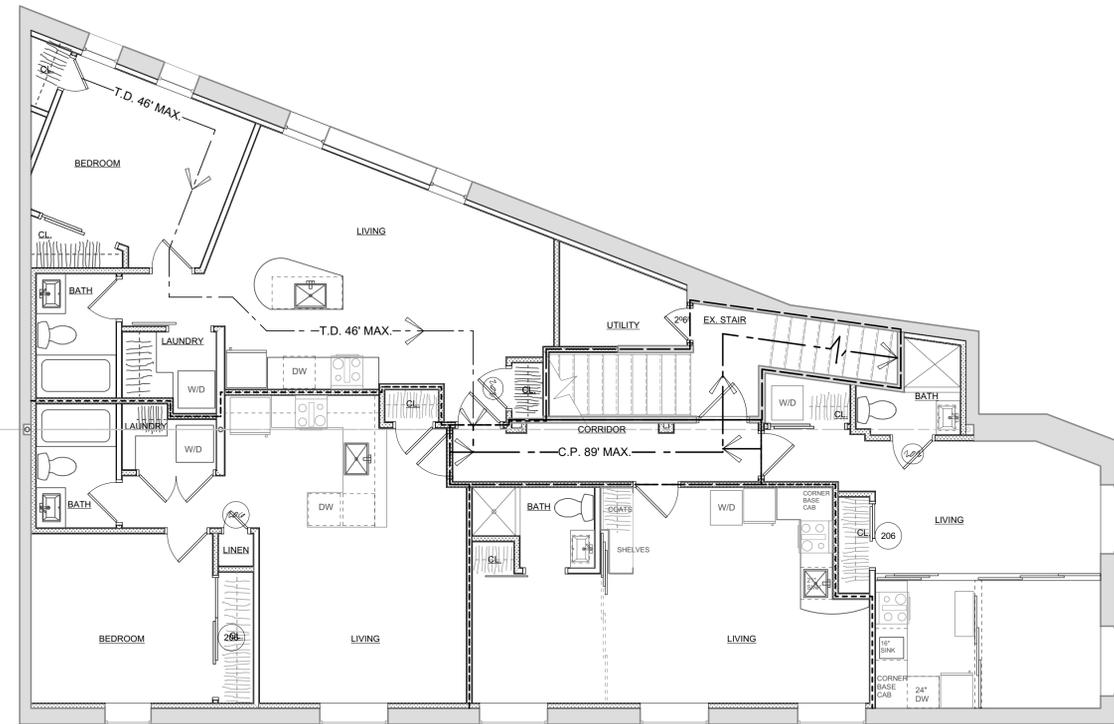
SEE PLUMBING DRAWINGS FOR COORDINATION AND LOCATION OF CONNECTION TO BUILDING SPRINKLER MAIN SERVICE. BUILDING SPRINKLER SYSTEM IS TO BE DESIGNED, PERMITTED, AND INSTALLED BY OTHERS UNDER SEPARATE CONTRACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A COMPLETE, CODE-COMPLIANT, AND FUNCTIONAL SPRINKLER SYSTEM.

EXIT SIGNAGE AND EMERGENCY LIGHTING:

SEE LIGHTING AND POWER PLANS FOR LOCATION OF EXIT SIGNAGE AND EMERGENCY LIGHTING UNITS.



2 3rd FLOOR PLAN - LIFE SAFETY AND EGRESS
SCALE: 3/16" = 1'-0"



1 2nd FLOOR PLAN - LIFE SAFETY AND EGRESS
SCALE: 3/16" = 1'-0"



T.AVERILL ARCHITECT, LLC
165 CONDUIT STREET
ANNAPOLIS, MD 21401
410-268-0179
taarchitect.com

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 19851, EXP. DATE: 03/09/20



FRANCIS AT MAIN - APARTMENTS
152 Main Street, Annapolis, MD

REV. #	DESCRIPTION	DATE

SHEET TITLE:
CODE ANALYSIS/
LIFE SAFETY PLANS

PERMIT SET

DRAWING DATE:
05/17/2019

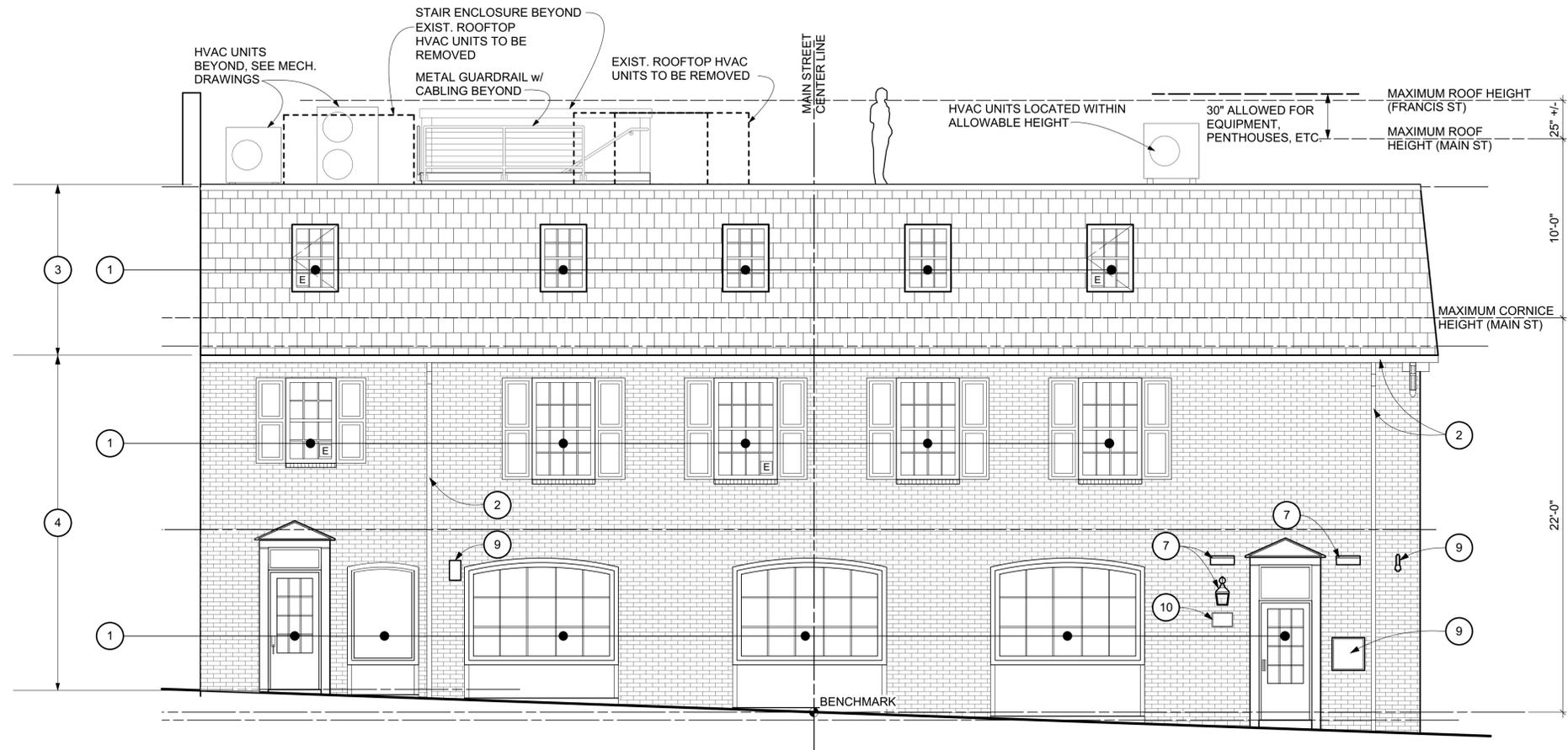
PROJECT #:
1813F

SHEET #:

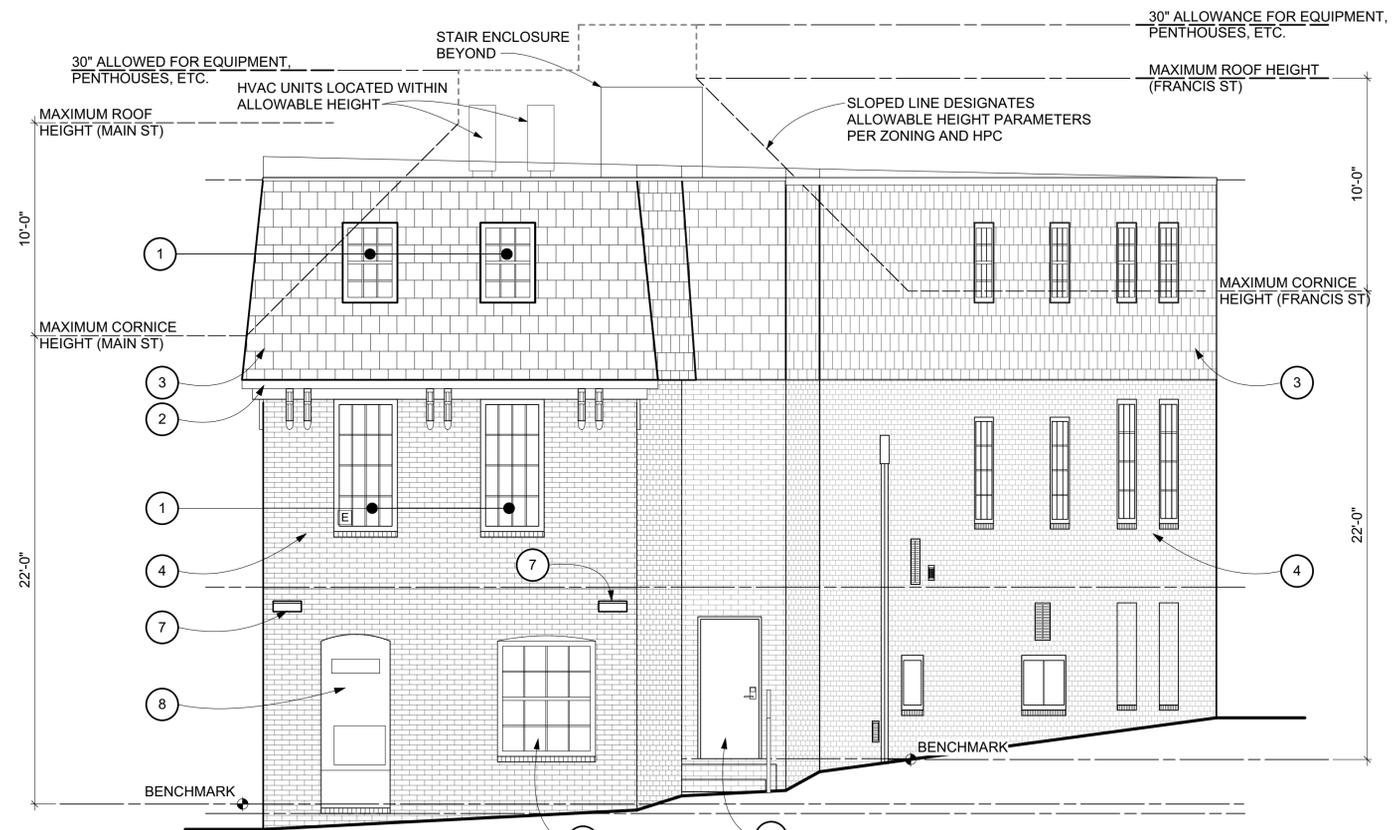
G002
2 OF 24

ELEVATION NOTES:

- 1 EXISTING WINDOW AND/OR DOOR UNITS TO REMAIN.
- 2 EXISTING GUTTER AND /OR DOWNSPOUTS TO REMAIN.
- 3 EXISTING SLATE MANSARD ROOFING TO REMAIN.
- 4 EXISTING PAINTED BRICK TO REMAIN.
- 5 EXISTING WALL VENT TO REMAIN.
- 6 EXISTING ELECTRICAL SERVICE CONDUIT TO REMAIN.
- 7 EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN.
- 8 EXISTING ATM UNIT TO REMAIN, NOT IN CONTRACT.
- 9 EXISTING WALL MOUNTED EQUIPMENT TO REMAIN.
- 10 EXISTING WALL PLAQUE TO REMAIN.



1 MAIN STREET ELEVATION
G003 SCALE: 1/4" = 1'-0"



2 CORNER ELEVATION
G003 SCALE: 1/4" = 1'-0"



FRANCIS AT MAIN - APARTMENTS
152 Main Street, Annapolis, MD

REV #	DESCRIPTION	DATE

SHEET TITLE:
HPC REVIEW - BUILDING ELEVATIONS

PERMIT SET
DRAWING DATE:
05/17/2019
PROJECT #:
1813F
SHEET #:

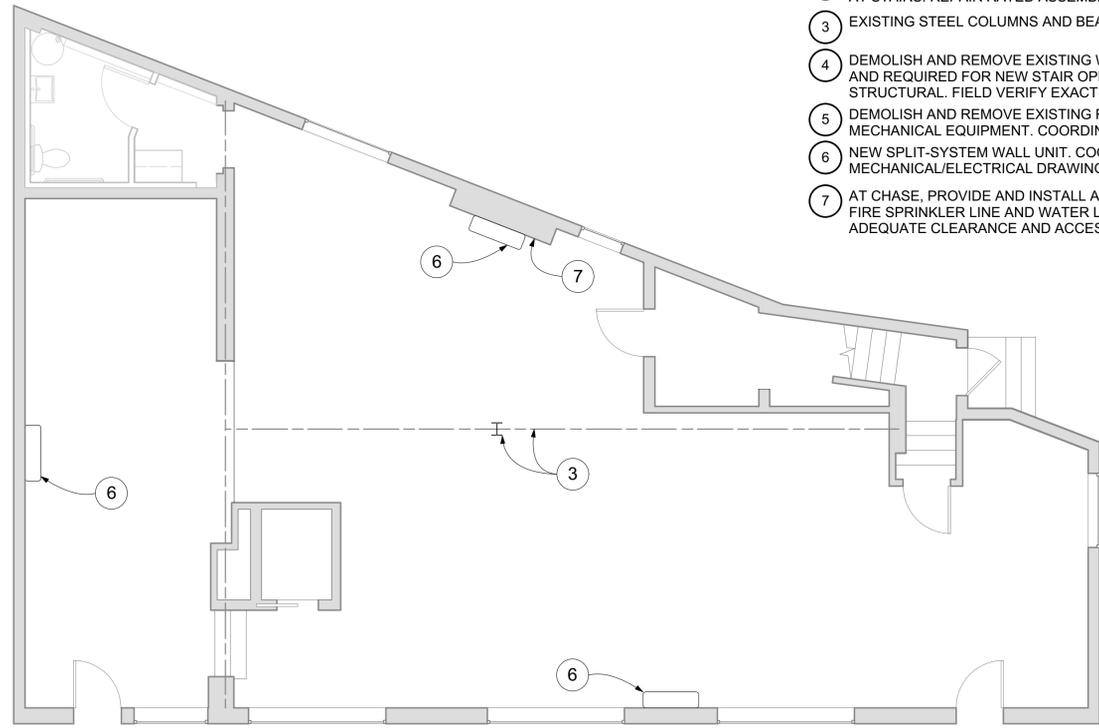
G003
3 OF 24

DEMOLITION/CONSTRUCTION NOTES:

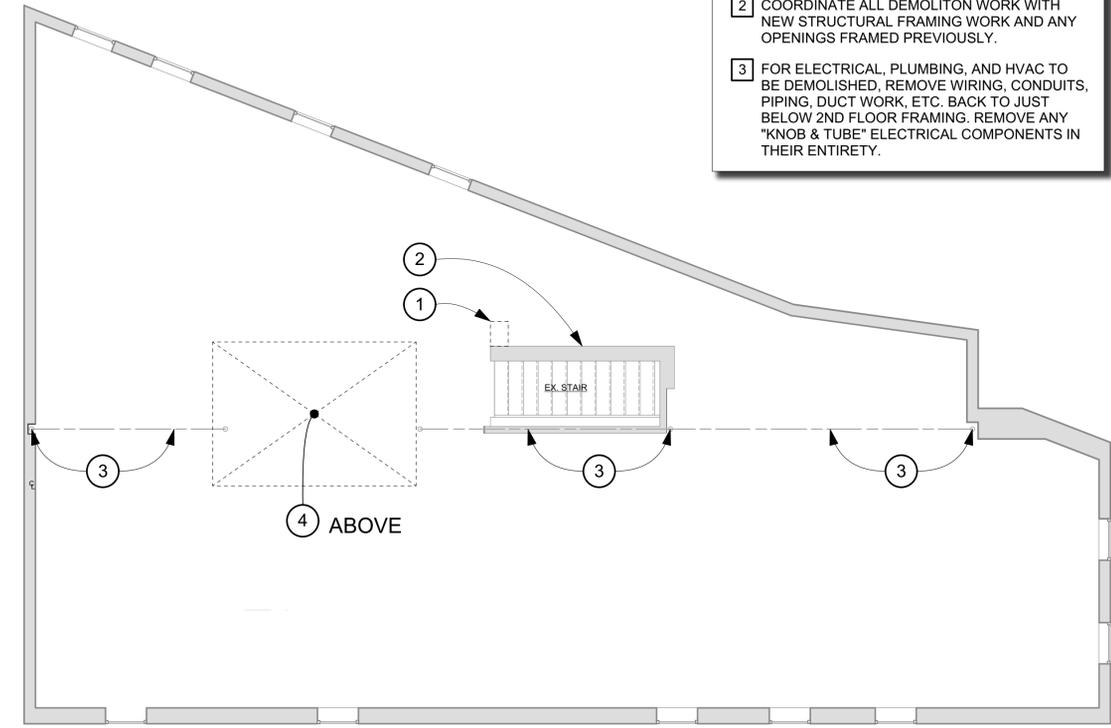
- 1 DEMOLISH AND REMOVE EXISTING WOOD STUD WALL FRAMING AND ASSOCIATED DOORS/FRAMES SHOWN DASHED.
- 2 MAINTAIN ALL EXISTING FIRE RATED WALLS/ENCLOSURES AT STAIRS. REPAIR RATED ASSEMBLIES DAMAGED BY NEW WORK
- 3 EXISTING STEEL COLUMNS AND BEAMS TO REMAIN, TYPICAL.
- 4 DEMOLISH AND REMOVE EXISTING WOOD ROOF FRAMING AS INDICATED AND REQUIRED FOR NEW STAIR OPENING. COORDINATE WITH STRUCTURAL. FIELD VERIFY EXACT LOCATION WITH NEW WORK PLANS.
- 5 DEMOLISH AND REMOVE EXISTING ROOF TOP MOUNTED MECHANICAL EQUIPMENT. COORDINATE WITH MEP DRAWINGS.
- 6 NEW SPLIT-SYSTEM WALL UNIT. COORDINATE WITH MECHANICAL/ELECTRICAL DRAWINGS.
- 7 AT CHASE, PROVIDE AND INSTALL ACCESS PANEL AT NEW INCOMING FIRE SPRINKLER LINE AND WATER LINE. SIZE PANEL TO PROVIDE ADEQUATE CLEARANCE AND ACCESS TO BACKFLOW PREVENTER.

GENERAL NOTES:

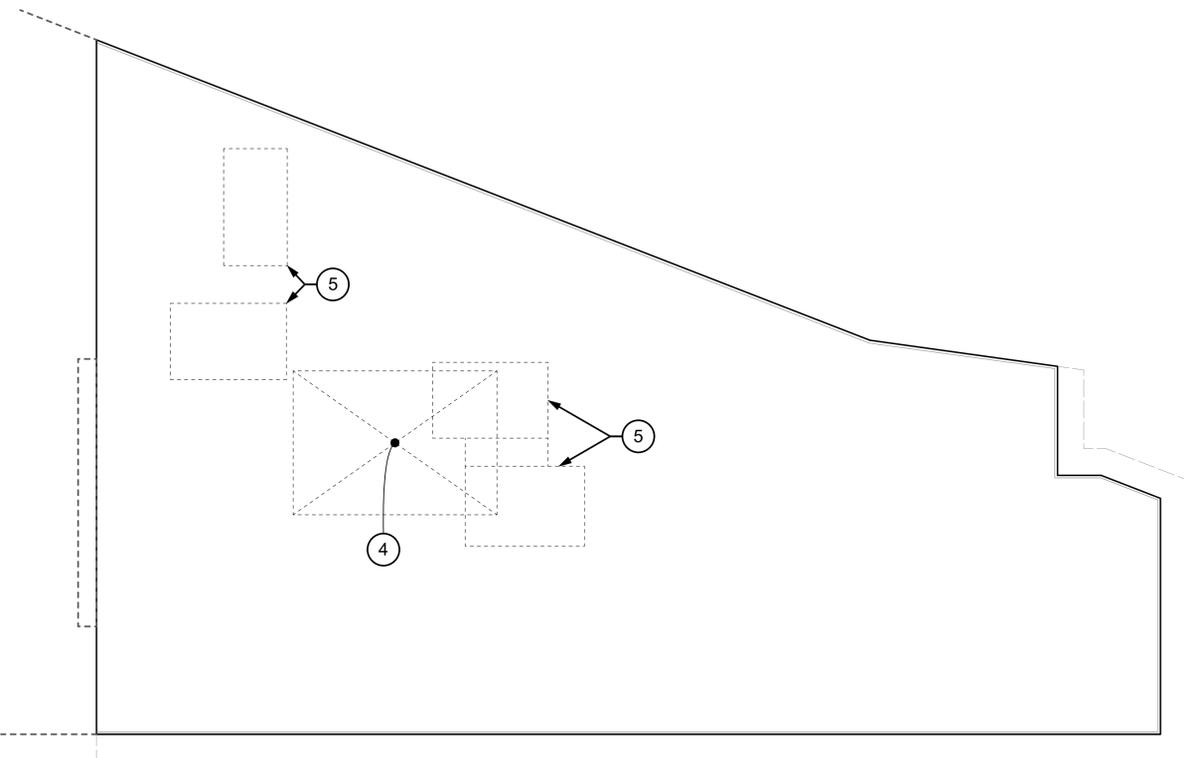
- 1 CONTRACTOR SHALL FIELD VERIFY EXISTING BEAM AND COLUMN LOCATIONS AND ALL LAYOUT DIMENSIONS PRIOR TO INSTALLATION OF NEW ITEMS.
- 2 COORDINATE ALL DEMOLITION WORK WITH NEW STRUCTURAL FRAMING WORK AND ANY OPENINGS FRAMED PREVIOUSLY.
- 3 FOR ELECTRICAL, PLUMBING, AND HVAC TO BE DEMOLISHED. REMOVE WIRING, CONDUITS, PIPING, DUCT WORK, ETC. BACK TO JUST BELOW 2ND FLOOR FRAMING. REMOVE ANY "KNOB & TUBE" ELECTRICAL COMPONENTS IN THEIR ENTIRETY.



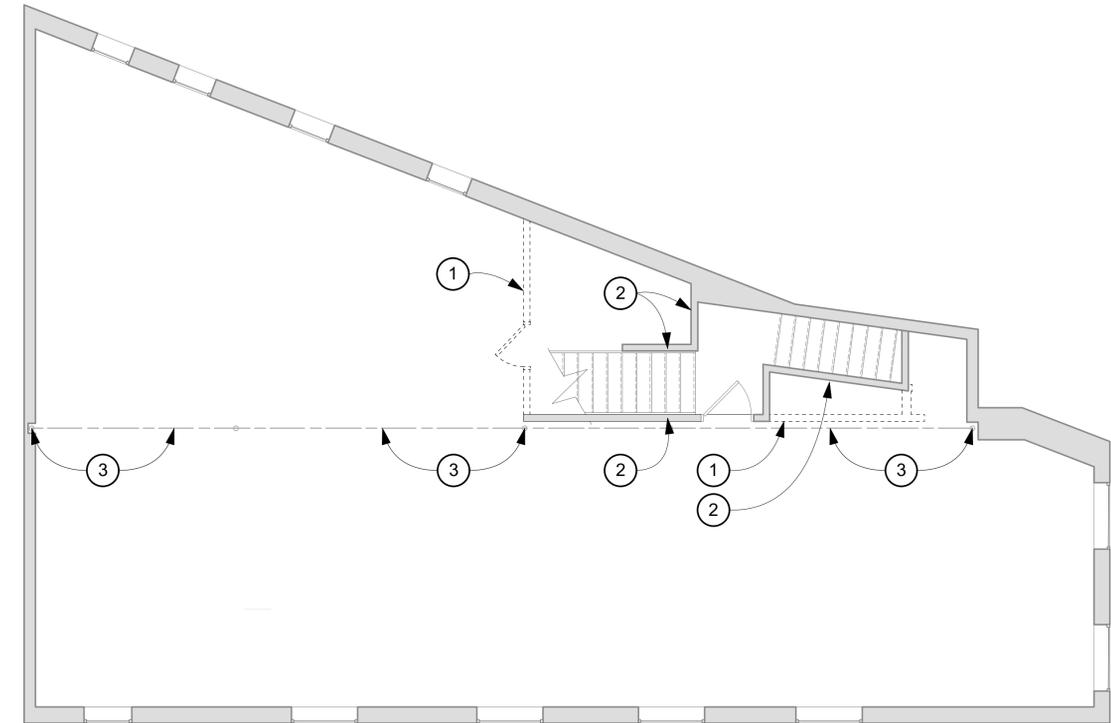
4 1st FLOOR - MEP COORDINATION PLAN
A101 SCALE: 3/16" = 1'-0"



2 3rd FLOOR PLAN - DEMOLITION
A101 SCALE: 3/16" = 1'-0"



3 ROOF - DEMOLITION
A101 SCALE: 3/16" = 1'-0"



1 2nd FLOOR PLAN - DEMOLITION
A101 SCALE: 3/16" = 1'-0"



T. AVERILL ARCHITECT, LLC
165 CONDUIT STREET
ANNAPOLIS, MD 21401
410-268-0173
taarchitect.com

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 10831. EXP. DATE: 03/09/20

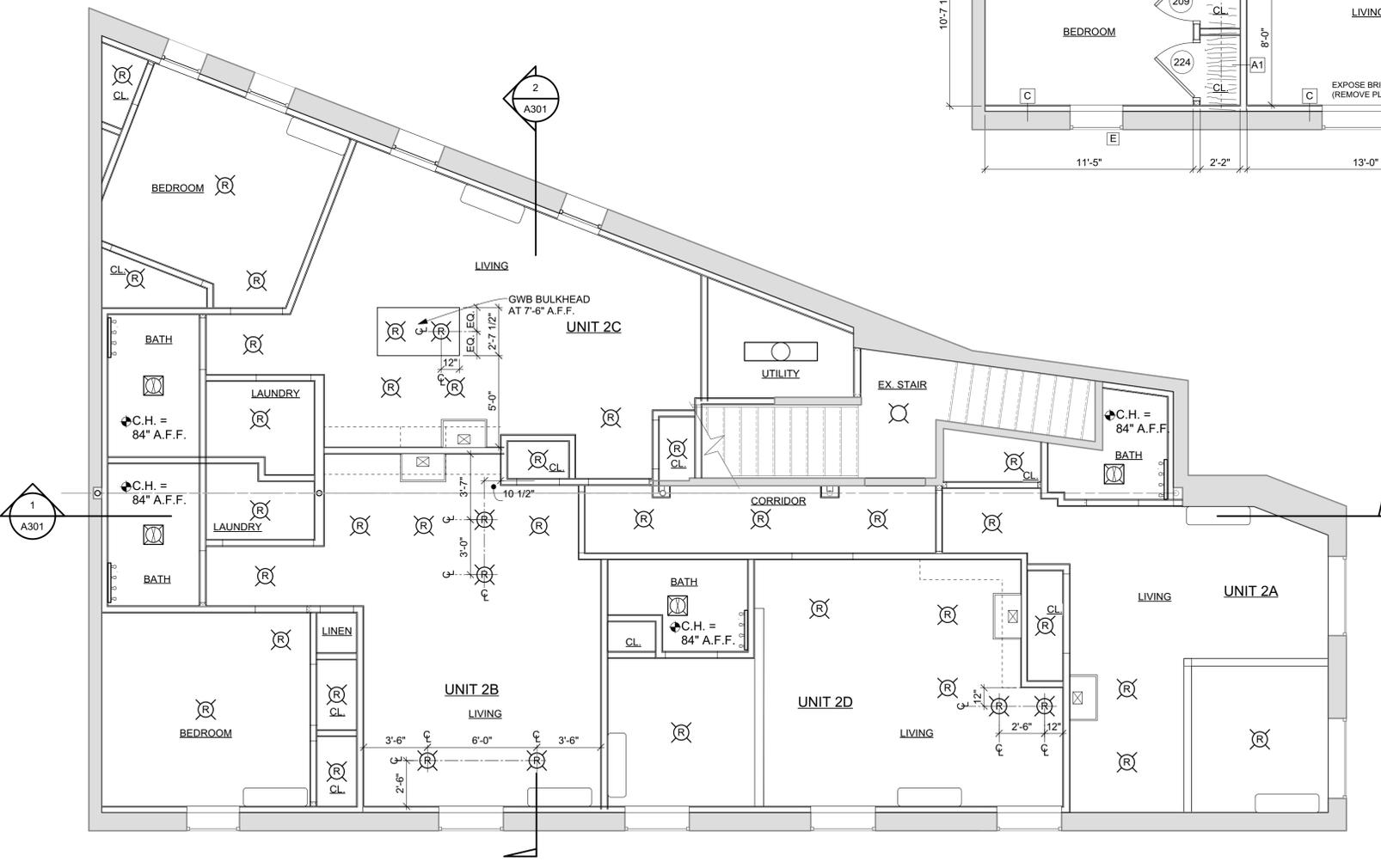
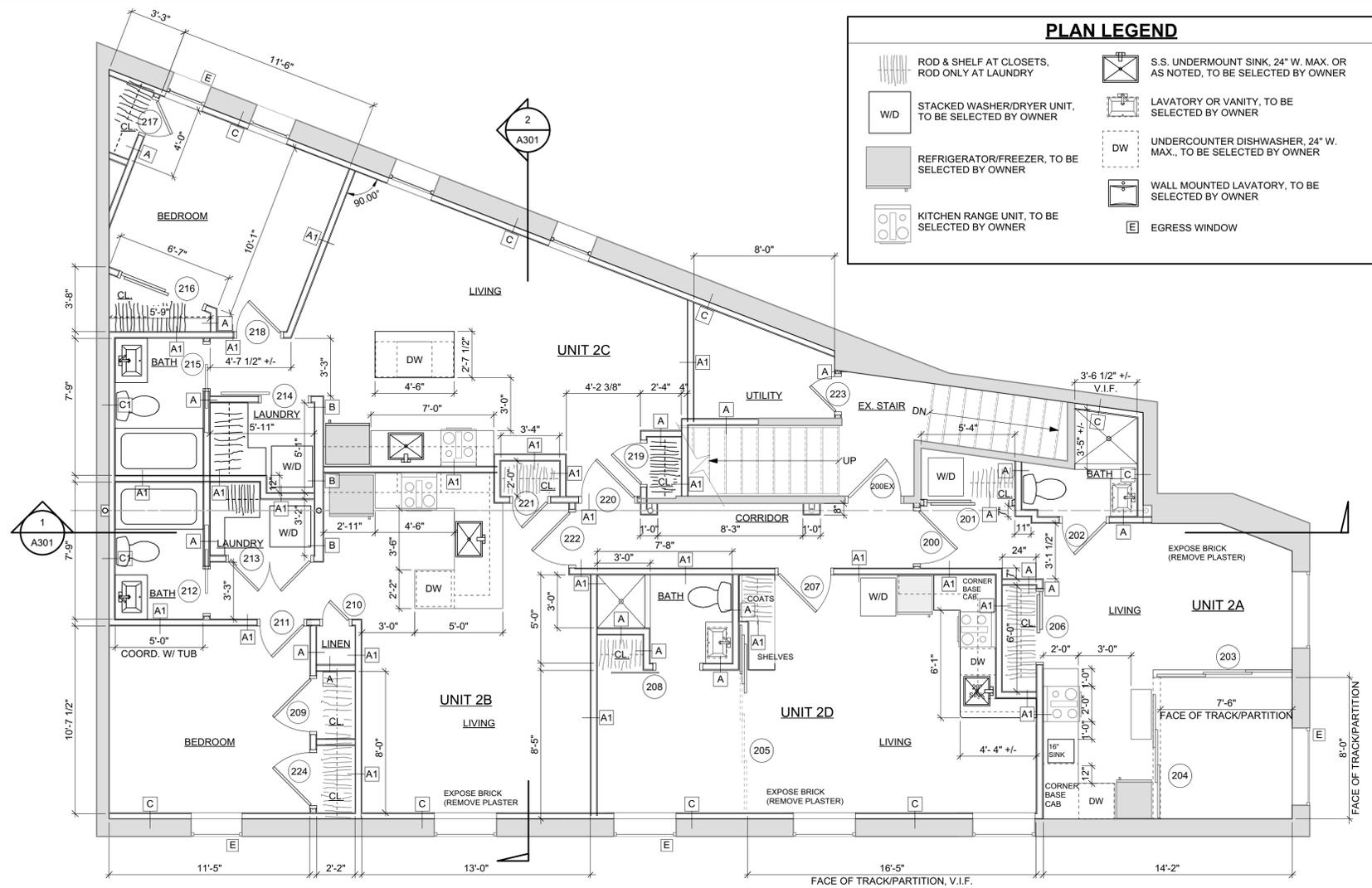
FRANCIS AT MAIN - APARTMENTS
152 Main Street, Annapolis, MD

REV. #	DESCRIPTION	DATE

SHEET TITLE:
DEMOLITION PLANS/
FIRST FLOOR MEP
COORDINATION PLAN

PERMIT SET
DRAWING DATE:
05/17/2019
PROJECT #:
1813F
SHEET #:

DOOR SCHEDULE												
TAG #	LEAFS	WIDTH	HEIGHT	THK.	ELEV.	MAT'L	FINISH	ELEV.	MATERIAL	FINISH	HARDWARE SET	REMARKS
200EX	1	36"	84"	1-3/4"	---	STEEL	PAINT	---	HM - EX.	PAINT	EXISTING	EXISTING 45-MIN FIRE RATED DOOR
200	1	36"	80"	1-3/4"	---	SCW	PAINT	---	HM	PAINT	ENTRY	45-MIN FIRE RATING
201	2	56"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	SLIDING BYPASS
202	1	30"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	PRIVACY	
203	3	90"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	PRIVACY	OVERHEAD MOUNTED TRACK W/ SLIDING PANELS
204	3	96"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	PRIVACY	OVERHEAD MOUNTED TRACK W/ SLIDING PANELS
205	3	102"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	PRIVACY	OVERHEAD MOUNTED TRACK W/ SLIDING PANELS
206	2	48"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	SLIDING BYPASS
207	1	36"	80"	1-3/4"	---	SCW	PAINT	---	HM	PAINT	ENTRY	45-MIN FIRE RATING
208	1	30"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	PRIVACY	BARN DOOR
209	1	36"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	
210	1	18"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	
211	1	30"	80"	1-3/8"	---	SCW	PAINT	---	HM	PAINT	PRIVACY	
212	1	30"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	PRIVACY	POCKET DOOR
213	2	56"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	DOUBLE DOOR
214	1	30"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	BARN DOOR
215	1	30"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	PRIVACY	POCKET DOOR
216	2	60"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	SLIDING BYPASS
217	1	24"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	
218	1	30"	80"	1-3/8"	---	SCW	PAINT	---	HM	PAINT	PRIVACY	
219	1	24"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	
220	1	36"	80"	1-3/4"	---	SCW	PAINT	---	HM	PAINT	ENTRY	45-MIN FIRE RATING
221	1	24"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	
222	1	36"	80"	1-3/4"	---	SCW	PAINT	---	HM	PAINT	ENTRY	45-MIN FIRE RATING
223	1	24"	80"	1-3/4"	---	SCW	PAINT	---	HM	PAINT	STOREROOM	45-MIN FIRE RATING
224	1	36"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	



1 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

2 2nd FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

RCP SYMBOL SCHEDULE

CEILING LIGHT, SURFACE MOUNTED

- CEILING LIGHT, RECESSED
- EXHAUST FAN/LIGHT COMBINATION UNIT, RECESSED
- 1 x 4 FLUORESCENT LIGHT, SURFACE MOUNTED
- VANITY LIGHT ("BAR" TYPE), WALL MOUNTED
- ABOVE RANGE MICROWAVE W/ RECIRCULATING FAN
- SPLIT-SYSTEM WALL UNIT. COORDINATE WITH MECHANICAL.
- 1/2" TYPE 'C' GWB CEILING ON ACOUSTICAL ISOLATION CLIPS. HEIGHT AT UNDERSIDE OF JOIST, U.N.O.

WALL TYPE LEGEND AND NOTES

SYMBOL	TYPE
[Solid Grey]	EXISTING WALLS TO REMAIN
[Dashed Grey]	A - 5/8" GWB BOTH SIDES ON 2 x 4 STUDS @ 16" o.c.
[Dotted Grey]	A1 - AS ABOVE W/ 3" ACOUSTICAL BATT INSULATION
[Horizontal Lines]	B - 5/8" GWB BOTH SIDES ON 2 x 6 STUDS @ 16" o.c.
[Vertical Lines]	B1 - AS ABOVE W/ 3" ACOUSTICAL BATT INSULATION
[Diagonal Lines]	B2 - AS 'B' ABOVE W/ R-20 FOIL-FACE BATT INSULATION
[Stippled Grey]	C - 5/8" GWB ON 2 x STUD FURRING @ 16" o.c. PROVIDE R-20 FOIL-FACED BATT INSULATION AT EXTERIOR WALLS
[Cross-hatched Grey]	C1 - AS ABOVE W/ 3" ACOUSTICAL BATT INSULATION IN LIEU OF R-20 INSULATION

NOTE - WALLS ABOVE MAY BE MODIFIED AS NOTED BELOW;
FIRE PARTITIONS/VERTICAL SEPARATIONS: SEE CODE ANALYSIS AND LIFE SAFETY PLAN SHEET G002 FOR LOCATIONS OF FIRE-RATED WALLS AND PARTITIONS.
BATH, TOILET, SHOWER, WET LOCATIONS: PROVIDE MOISTURE RESISTANT GWB OR CEMENTITIOUS BACKER UNITS, AS APPROPRIATE FOR USE, FINISH, AND AS REQUIRED BY CODE.



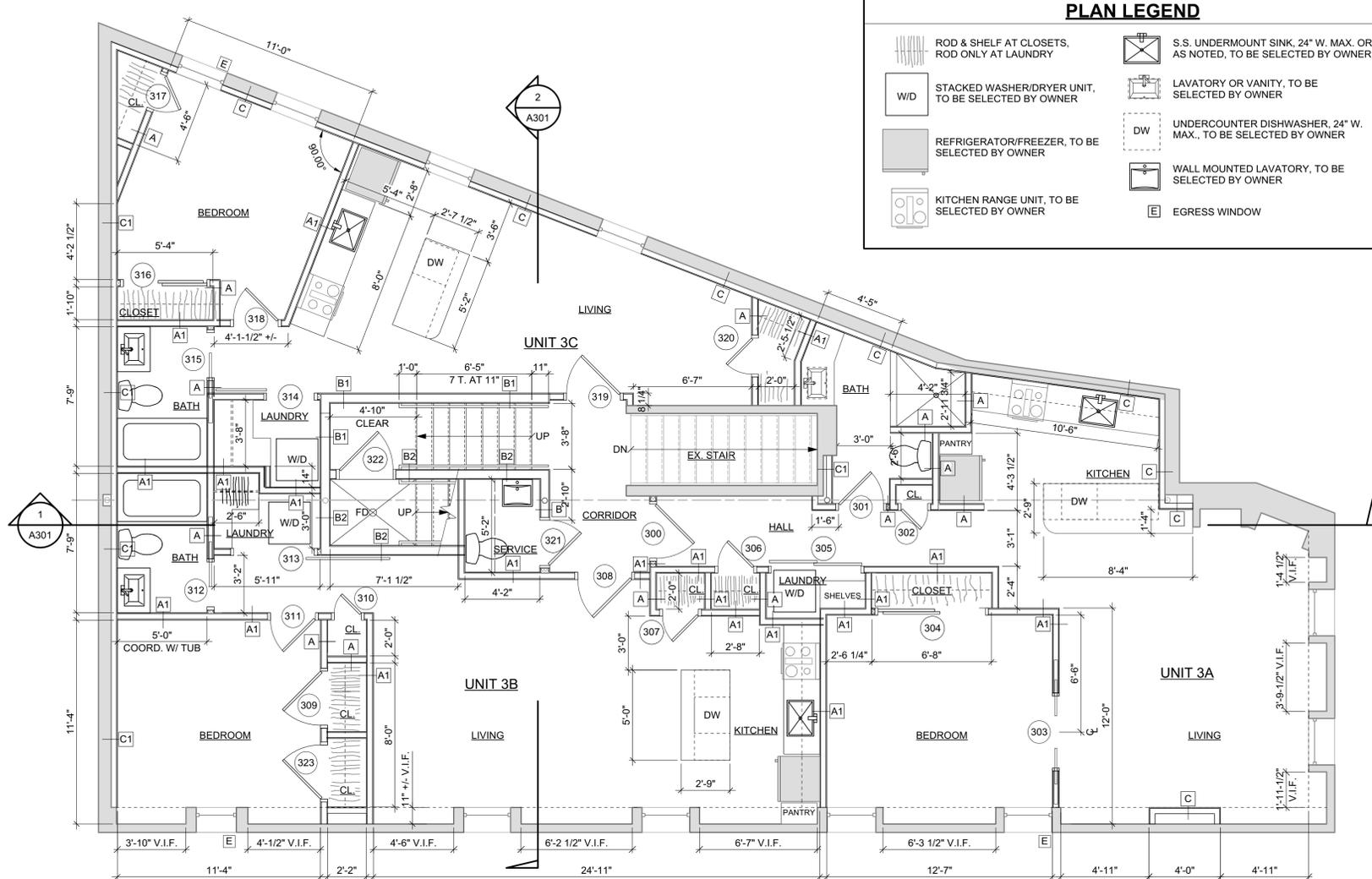
FRANCIS AT MAIN - APARTMENTS
152 Main Street, Annapolis, MD

REV #	DESCRIPTION	DATE

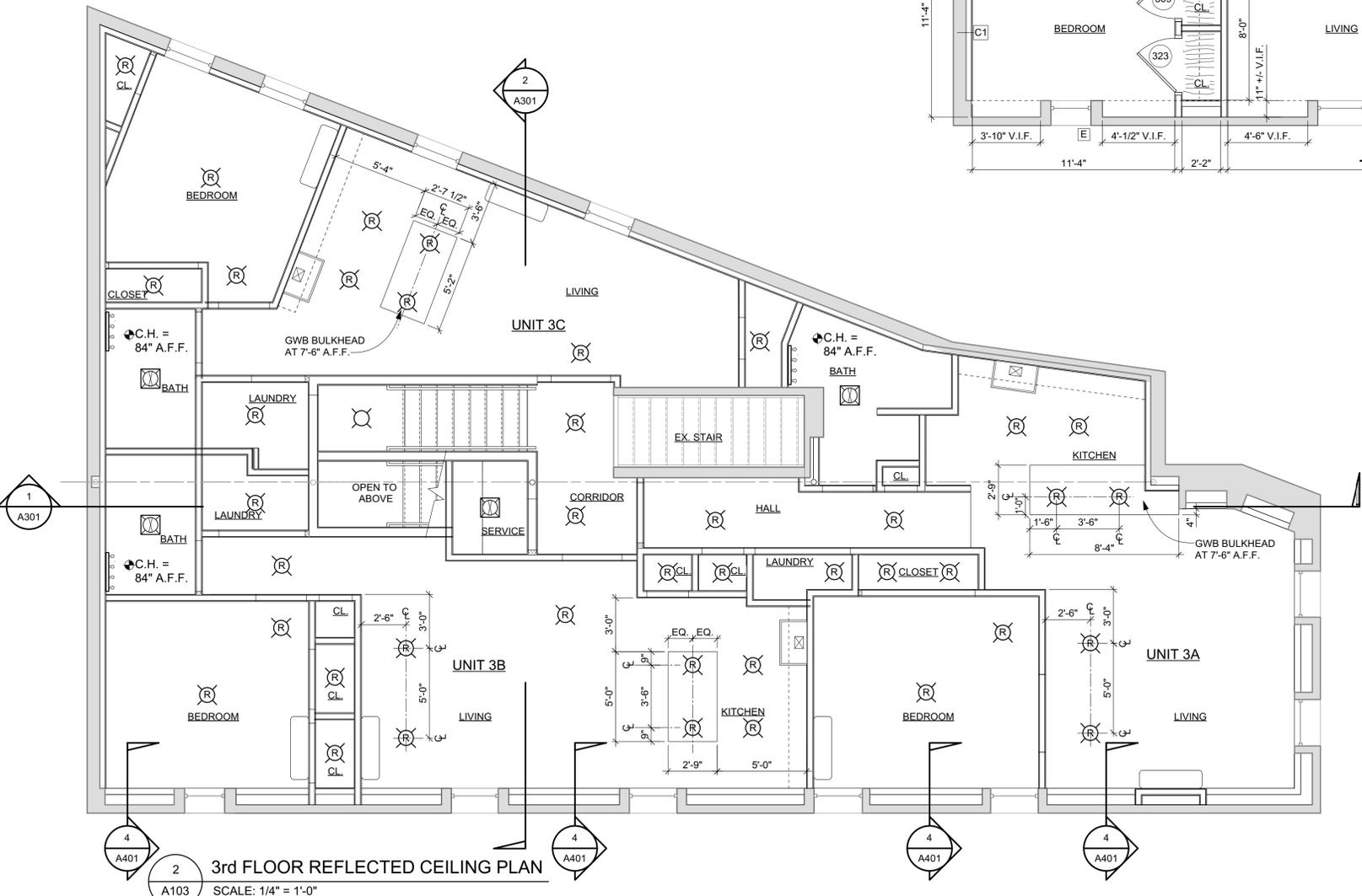
SHEET TITLE:
2ND FLOOR PLAN AND REFLECTED CEILING PLAN

PERMIT SET
DRAWING DATE:
05/17/2019
PROJECT #:
1813F
SHEET #:
A102
6 OF 24

DOOR SCHEDULE												
TAG #	LEAFS	WIDTH	HEIGHT	THK.	ELEV.	MAT'L	FINISH	ELEV.	MATERIAL	FINISH	HARDWARE SET	REMARKS
300	1	36"	80"	1-3/4"	---	SCW	PAINT	---	HM	PAINT	ENTRY	45-MIN FIRE RATING
301	1	30"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	PRIVACY	
302	1	18"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	
303	2	48"	80"	1-3/8"	---	SCW	PAINT	---	HM	PAINT	PRIVACY	POCKET DOOR
304	2	60"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	SLIDING BYPASS
305	2	60"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	BARN DOOR
306	1	24"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	
307	1	24"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	
308	1	36"	80"	1-3/4"	---	SCW	PAINT	---	HM	PAINT	ENTRY	45-MIN FIRE RATING
309	1	36"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	
310	1	18"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	
311	1	30"	80"	1-3/8"	---	SCW	PAINT	---	HM	PAINT	PRIVACY	
312	1	30"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	PRIVACY	POCKET DOOR
313	2	54"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	BARN DOOR
314	1	32"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	BARN DOOR
315	1	30"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	PRIVACY	POCKET DOOR
316	2	60"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	SLIDING BYPASS
317	1	24"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	
318	1	30"	80"	1-3/8"	---	SCW	PAINT	---	HM	PAINT	PRIVACY	
319	1	36"	80"	1-3/4"	---	SCW	PAINT	---	HM	PAINT	ENTRY	45-MIN FIRE RATING
320	1	24"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	
321	1	30"	80"	1-3/4"	---	SCW	PAINT	---	HM	PAINT	PRIVACY	45-MIN FIRE RATING
322	1	36"	80"	1-3/4"	---	METAL	PAINT	---	HM	PAINT	EGRESS	45-MIN FIRE RATING, EXT. WEATHERSTRIPPING
323	1	36"	80"	1-3/8"	---	WOOD	PAINT	---	HM	PAINT	CLOSET	



PLAN LEGEND	
	ROD & SHELF AT CLOSETS, ROD ONLY AT LAUNDRY
	STACKED WASHER/DRYER UNIT, TO BE SELECTED BY OWNER
	REFRIGERATOR/FREEZER, TO BE SELECTED BY OWNER
	KITCHEN RANGE UNIT, TO BE SELECTED BY OWNER
	S.S. UNDERMOUNT SINK, 24" W. MAX. OR AS NOTED, TO BE SELECTED BY OWNER
	LAVATORY OR VANITY, TO BE SELECTED BY OWNER
	UNDERCOUNTER DISHWASHER, 24" W. MAX., TO BE SELECTED BY OWNER
	WALL MOUNTED LAVATORY, TO BE SELECTED BY OWNER
	EGRESS WINDOW



RCP SYMBOL SCHEDULE	
	CEILING LIGHT, SURFACE MOUNTED
	CEILING LIGHT, RECESSED
	EXHAUST FAN/LIGHT COMBINATION UNIT, RECESSED
	1 x 4 FLUORESCENT LIGHT, SURFACE MOUNTED
	VANITY LIGHT ("BAR" TYPE), WALL MOUNTED
	ABOVE RANGE MICROWAVE W/ RECIRCULATING FAN
	SPLIT-SYSTEM WALL UNIT. COORDINATE WITH MECHANICAL.
	1/2" TYPE 'C' GWB CEILING ON ACOUSTICAL ISOLATION CLIPS. HEIGHT AT UNDERSIDE OF JOIST, U.N.O.

WALL TYPE LEGEND AND NOTES	
	EXISTING WALLS TO REMAIN
	A - 5/8" GWB BOTH SIDES ON 2 x 4 STUDS @ 16" o.c.
	A1 - AS ABOVE W/ 3" ACOUSTICAL BATT INSULATION
	B - 5/8" GWB BOTH SIDES ON 2 x 6 STUDS @ 16" o.c.
	B1 - AS ABOVE W/ 3" ACOUSTICAL BATT INSULATION
	B2 - AS 'B' ABOVE W/ R-20 FOIL-FACE BATT INSULATION
	C - 5/8" GWB ON 2 x STUD FURRING @ 16" o.c. PROVIDE R-20 FOIL-FACED BATT INSULATION AT EXTERIOR WALLS
	C1 - AS ABOVE W/ 3" ACOUSTICAL BATT INSULATION IN LIEU OF R-20 INSULATION

NOTE - WALLS ABOVE MAY BE MODIFIED AS NOTED BELOW;
FIRE PARTITIONS/VERTICAL SEPARATIONS: SEE CODE ANALYSIS AND LIFE SAFETY PLAN SHEET G002 FOR LOCATIONS OF FIRE-RATED WALLS AND PARTITIONS.
BATH, TOILET, SHOWER, WET LOCATIONS: PROVIDE MOISTURE RESISTANT GWB OR CEMENTITIOUS BACKER UNITS, AS APPROPRIATE FOR USE, FINISH, AND AS REQUIRED BY CODE.

T. AVERILL ARCHITECT, LLC
165 CONDUIT STREET
ANNAPOLIS, MD 21401
410-268-0173
taarchitect.com

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19851, EXP. DATE 03/09/20

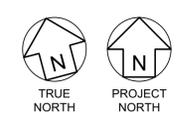
ARCHITECT
LIC # 19851
TERRANCE T. AVERILL
STATE OF MARYLAND

FRANCIS AT MAIN - APARTMENTS
152 Main Street, Annapolis, MD

REV #	DESCRIPTION	DATE

SHEET TITLE:
3rd FLOOR PLAN AND REFLECTED CEILING PLAN

PERMIT SET
DRAWING DATE:
05/17/2019
PROJECT #:
1813F
SHEET #:
A103
7 OF 24



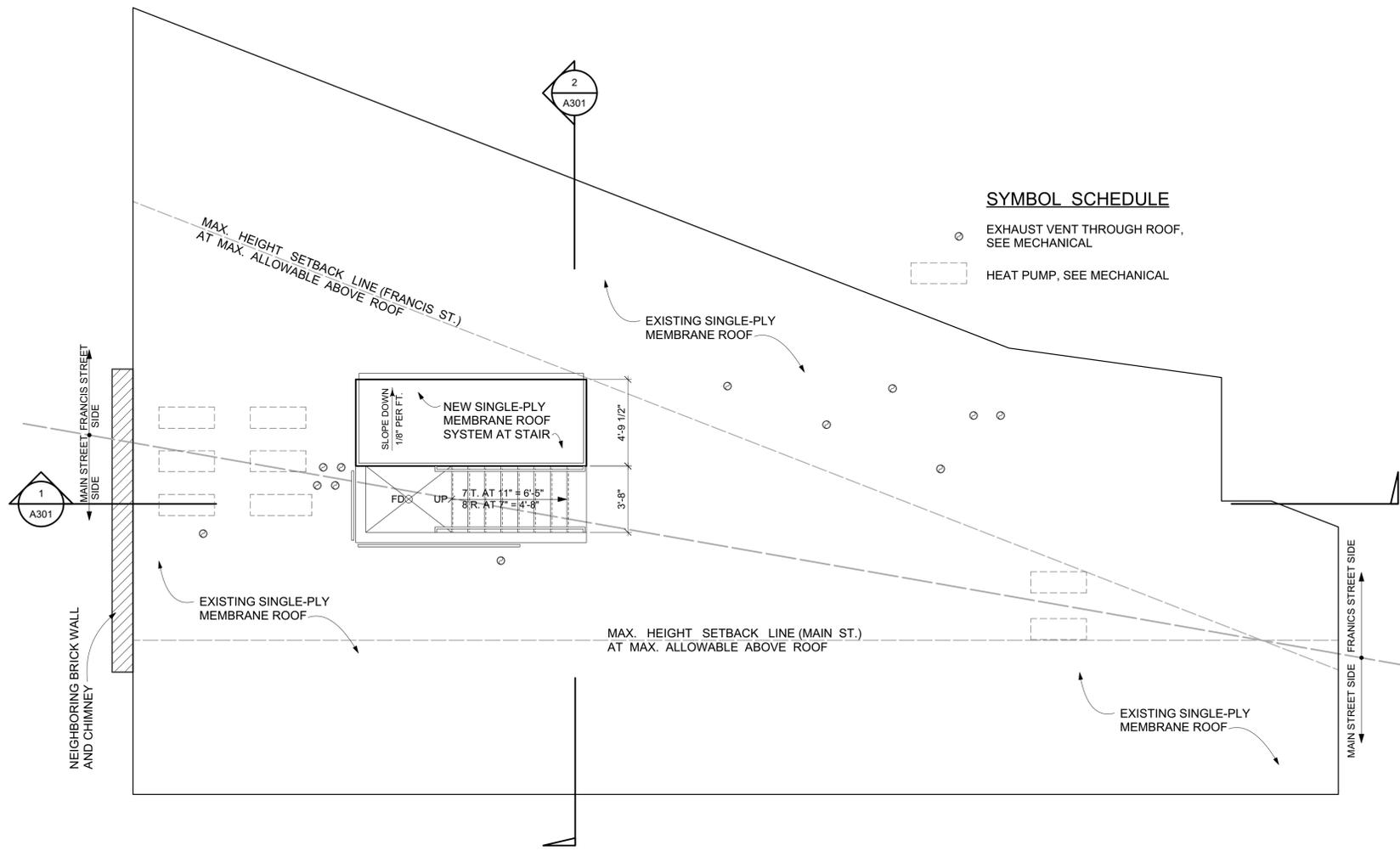


T. AVERILL ARCHITECT, LLC
 165 CONDUIT STREET
 ANNAPOLIS, MD 21401
 410-268-0179
 taarchitect.com

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 10831. EXP. DATE: 03/30/20



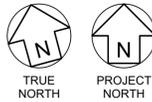
FRANCIS AT MAIN - APARTMENTS
 152 Main Street, Annapolis, MD



SYMBOL SCHEDULE

- EXHAUST VENT THROUGH ROOF, SEE MECHANICAL
- HEAT PUMP, SEE MECHANICAL

1 ROOF PLAN
 A104 SCALE: 1/4" = 1'-0"



REV. #	DESCRIPTION	DATE

SHEET TITLE:
 ROOF PLAN
 AND DETAILS

PERMIT SET

DRAWING DATE:
 05/17/2019
 PROJECT #:
 1813F
 SHEET #:

A104
 8 OF 24



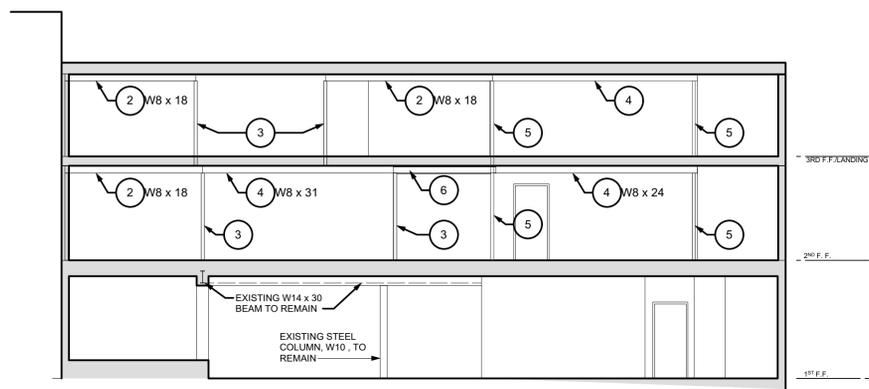
FRANCIS AT MAIN - APARTMENTS
152 Main Street, Annapolis, MD

REV #	DESCRIPTION	DATE

SHEET TITLE:
FRAMING PLANS,
SECTIONS, AND
CALCULATIONS

PERMIT SET
DRAWING DATE:
05/17/2019
PROJECT #:
1813F
SHEET #:

A105
9 OF 24

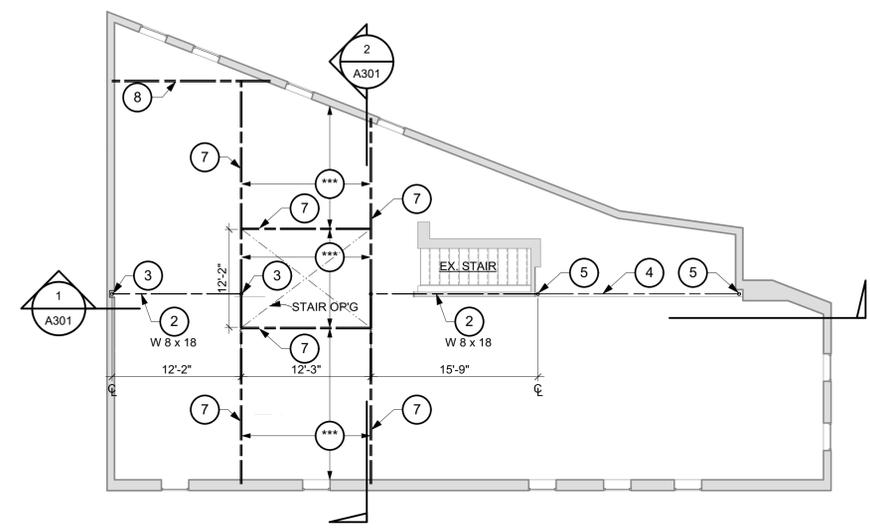


4 BUILDING SECTION - COLUMN & BEAM DIAGRAM
A105 SCALE: 1/8" = 1'-0"

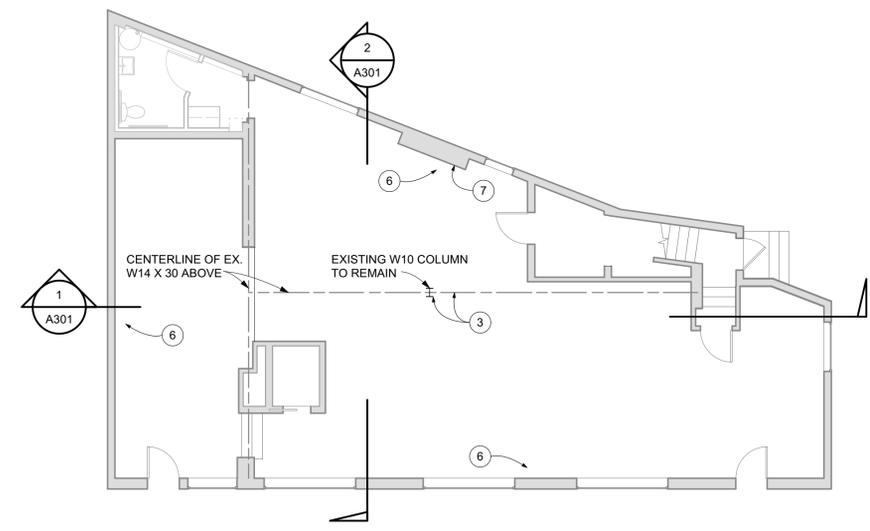
GENERAL NOTES:

- CONTRACTOR SHALL FIELD VERIFY EXISTING BEAM AND COLUMN LOCATIONS AND ALL LAYOUT DIMENSIONS PRIOR TO INSTALLATION OF NEW STRUCTURAL ITEMS.
- UNLESS NOTED OTHERWISE, NEW COLUMNS SHALL BEAR ON EXISTING MASONRY AND/OR NEW OR EXISTING BEAMS.
- COORDINATE COLUMN AND BEAM LAYOUT WITH INFILL FRAMING.

- CONSTRUCTION NOTES:**
- PROVIDE AND INSTALL MIN. 5/8" T&G PLYWOOD FLOOR SHEATHING AT FLOOR INFILL AREAS. MATCH EXISTING ADJACENT FLOOR SHEATHING FOR THICKNESS AND FINISH FLOOR ELEVATION. FIELD VERIFY THICKNESS AND ELEVATIONS PRIOR TO OBTAINING MATERIALS.
 - NEW STEEL BEAM ABOVE, SIZE AS NOTED.
 - NEW STEEL PIPE COLUMN, 3.5" O.D.
 - EXISTING STEEL BEAM TO REMAIN.
 - EXISTING STEEL PIPE COLUMN TO REMAIN.
 - (2) 9.25" LVL'S SET ON FLANGES OF ADJACENT BEAMS.
 - (2) 2 x 12'S ABOVE. COORDINATE WITH SISTERED FRAMING.
 - (2) 12" NOM. LVL'S. COORDINATE WITH SISTERED FRAMING.
 - APPROXIMATE LOCATION OF DEMOLISHED BEAM, SHOWN FOR COORDINATION PURPOSES TO NEW FRAMING.



2 3rd FLOOR/ROOF FRAMING
A105 SCALE: 1/8" = 1'-0"



3 1st FLOOR FRAMING
A105 SCALE: 1/8" = 1'-0"

PROPOSED ROOF BEAMS (3rd FLOOR CEILING)

$S = 15'-6"$ ADJ STAIRS
 $V_R = \frac{22}{2} \times 50 = 550 \#/ft$
 $M = \frac{550 \times 15.5^2}{8} = 16.5 \text{ K-ft}$ **WB x 18**
 $S = 12'$
 $V_R = \frac{36}{2} \times 50 = 900 \#/ft$
 $M = \frac{900 \times 12^2}{8} = 16.2 \text{ K-ft}$ **WB x 18**

PROPOSED 3rd F. BEAMS (2nd FLOOR CEILING)

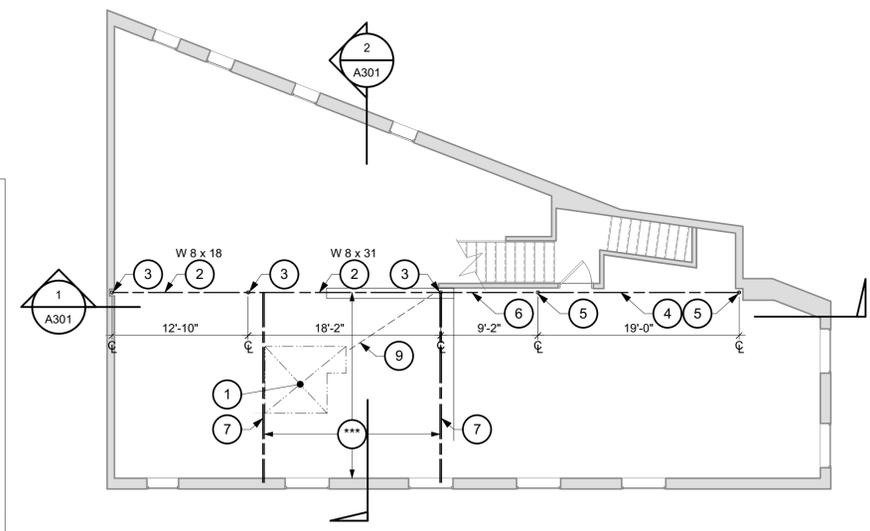
$S = 19'$
 LOADING: $W_B = \frac{24}{2} \times 50 = 600 \#/ft$
 $M = \frac{600 \times 19^2}{8} = 27.1 \text{ K-ft}$ **WB x 24**
 $S = 9'$
 $M = \frac{600 \times 9^2}{8} = 6.1 \text{ K-ft}$

$S = 19'$
 $W_B = \frac{36}{2} \times 50 = 900$
 $M = \frac{900 \times 19^2}{8} = 40.6 \text{ K-ft}$ $P_s = \frac{900 \times 19}{2} + \frac{600 \times 9}{2} = 11.3 \text{ K}$

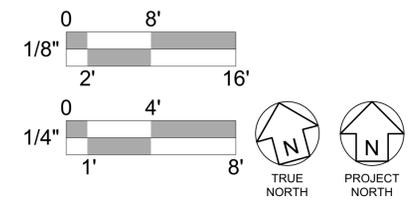
$S = 12'$
 $M = \frac{900 \times 12^2}{8} = 16.2$ **WB x 18**

DW 9/6/18

P.O. Box 4279 - Annapolis, MD 21403 - 410-544-1225 - welf4u@gmail.com - LIC. MD 11466 DC PE006407
 152 MAIN STREET | BEAM COMPS | DW | 9/6/18



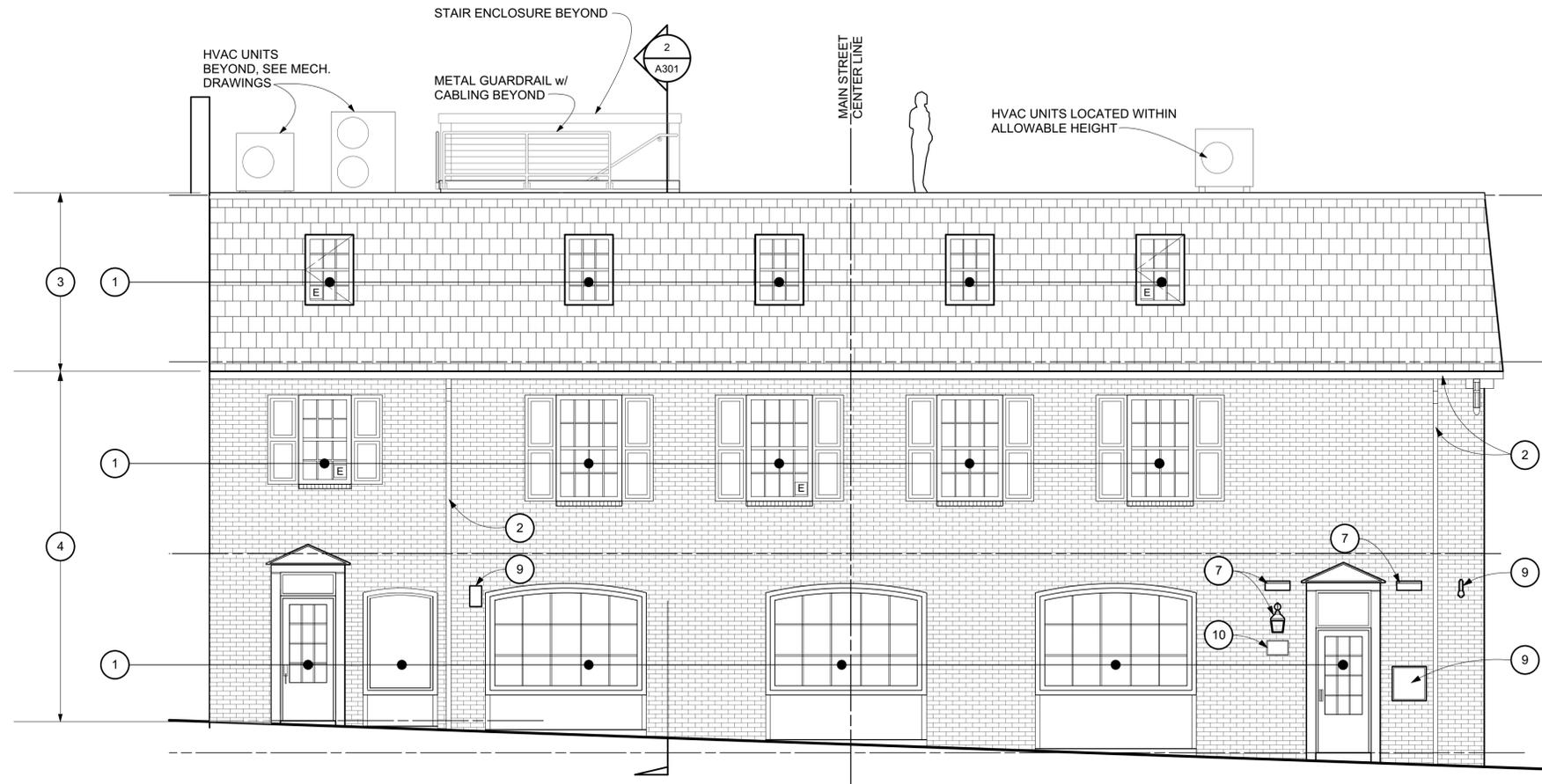
1 2nd FLOOR FRAMING
A105 SCALE: 1/8" = 1'-0"



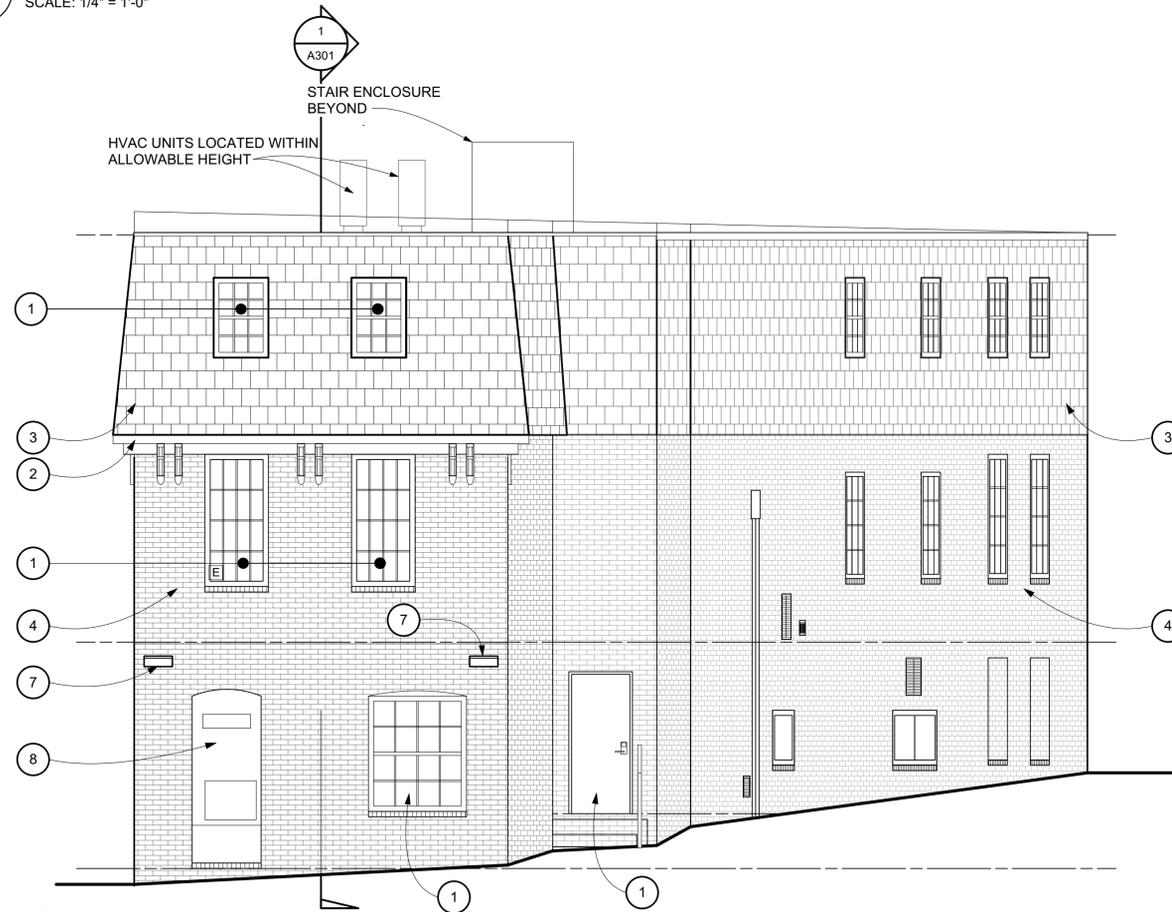
ELEVATION NOTES:

- 1 EXISTING WINDOW AND/OR DOOR UNITS TO REMAIN.
- 2 EXISTING GUTTER AND /OR DOWNSPOUTS TO REMAIN.
- 3 EXISTING SLATE MANSARD ROOFING TO REMAIN.
- 4 EXISTING PAINTED BRICK TO REMAIN.
- 5 EXISTING WALL VENT TO REMAIN.
- 6 EXISTING ELECTRICAL SERVICE CONDUIT TO REMAIN.
- 7 EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN.
- 8 EXISTING ATM UNIT TO REMAIN, NOT IN CONTRACT.
- 9 EXISTING WALL MOUNTED EQUIPMENT TO REMAIN.
- 10 EXISTING WALL PLAQUE TO REMAIN.

[E] DENOTES EGRESS WINDOW.



1 MAIN STREET ELEVATION
A201 SCALE: 1/4" = 1'-0"



2 CORNER ELEVATION
A201 SCALE: 1/4" = 1'-0"



T. AVERILL ARCHITECT, LLC
165 CONDUIT STREET
ANNAPOLIS, MD 21401
410-268-0179
taarchitect.com

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 10831. EXP. DATE: 03/30/20



FRANCIS AT MAIN - APARTMENTS
152 Main Street, Annapolis, MD

REV. #	DESCRIPTION	DATE

SHEET TITLE:
BUILDING ELEVATIONS

PERMIT SET
DRAWING DATE:
05/17/2019
PROJECT #:
1813F
SHEET #:



T. AVERILL ARCHITECT, L.L.C.
 165 CONDUIT STREET
 ANNAPOLIS, MD 21401
 410-268-0179
 tarchitect.com

PROFESSIONAL CERTIFICATION: HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 29462 EXP. DATE 01/31/20

FRANCIS AT MAIN - APARTMENTS
 152 Main Street, Annapolis, MD

REV # DESCRIPTION DATE

SHEET TITLE:
 SCHEDULES AND LEGEND

PERMIT SET
 DRAWING DATE:
 05/17/2019
 PROJECT #:
 1813F
 SHEET #:
MP001
 14 OF 24

GENERAL MECHANICAL NOTES

- PROVIDE ALL MATERIALS AND EQUIPMENT AND PERFORM ALL LABOR REQUIRED TO INSTALL COMPLETE AND OPERABLE MECHANICAL SYSTEMS AS INDICATED ON THE DRAWINGS AND AS REQUIRED BY CODE.
- CONTRACT DOCUMENT DRAWINGS FOR MECHANICAL WORK ARE DIAGRAMMATIC AND ARE INTENDED TO CONVEY SCOPE AND GENERAL ARRANGEMENT ONLY.
- INSTALL ALL MECHANICAL EQUIPMENT AND APPURTENANCES IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS, CONTRACT DOCUMENTS, AND APPLICABLE CODES AND REGULATIONS.
- COORDINATE CONSTRUCTION OF ALL MECHANICAL WORK WITH ARCHITECTURAL, STRUCTURAL, CIVIL, ELECTRICAL WORK ETC., SHOWN ON OTHER CONTRACT DOCUMENTS.
- ALL TESTS SHALL BE COMPLETED BEFORE ANY MECHANICAL EQUIPMENT OR PIPING INSULATION IS APPLIED.
- COORDINATE ALL EQUIPMENT CONNECTIONS WITH MANUFACTURERS' CERTIFIED DRAWINGS. COORDINATE AND PROVIDE ALL DUCT AND PIPING TRANSITIONS REQUIRED FOR FINAL EQUIPMENT CONNECTIONS TO FURNISHED EQUIPMENT. FIELD VERIFY AND COORDINATE ALL DUCT AND PIPING DIMENSIONS BEFORE FABRICATION.
- WHEN MECHANICAL WORK IS SUBCONTRACTED IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO COORDINATE SUBCONTRACTORS AND THE ASSOCIATED CONTRACTS. WHEN DISCREPANCIES ARISE PERTAINING TO WHICH CONTRACTOR PROVIDED A PARTICULAR ITEM OF THE CONTRACT OR WHICH CONTRACTOR PROVIDES THE FINAL CONNECTIONS FOR A PARTICULAR ITEM OF THE CONTRACT IT SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR WHOSE DECISION SHALL BE FINAL.
- ALL AIR CONDITIONING CONDENSATE DRAIN LINES FOR EACH UNIT SHALL BE PIPED FULL SIZE OF THE UNIT DRAIN OUTLET, WITH "P" TRAP, AND PIPED TO THE NEAREST LOCATION APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- PROVIDE DIELECTRIC COUPLINGS AT ALL FERROUS TO NON-FERROUS PIPE CONNECTIONS AND FLANGE UNION ISOLATING JOINTS TO PREVENT ANY ELECTROLYTIC ACTION BETWEEN DISSIMILAR METAL.
- DISINFECTION OF POTABLE WATER SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL AUTHORITY HAVING JURISDICTION.
- TEST WASTE AND WATER UNDER ACTUAL OPERATING CONDITIONS. REPAIR LEAKS AND RETURN TO SERVICE. TEST WASTE PIPING AT 15 FEET OF HEAD FOR 24 HOURS. TEST WATER PIPING AT 125 PSI FOR 2 HOURS. MAKE REPAIRS WITH NEW MATERIALS. REPLACE LEAKING MATERIALS, DO NOT REPAIR BY PATCHING.

FIRE PROTECTION NOTES:

- PROVIDE FIRE SUPPRESSION SPRINKLER SYSTEM INCLUDING PIPING AND HEADS AS REQUIRED TO SUPPLY THE PLANS PARTITIONING, DUCTWORK, PIPING, AND CEILING HEIGHTS. ALL WORK SHALL BE IN ACCORDANCE WITH NFPA AND THE FIRE MARSHAL'S REQUIREMENTS.
- TEST SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA AND THE FIRE MARSHAL'S REQUIREMENTS.

PLUMBING EQUIPMENT SCHEDULE						
MARK	FIXTURE	ROUGH-IN-SIZE				DESCRIPTION/REMARKS
		S/W	V	CW	HW	
BFP-1	BACKFLOW PREVENTER	-	-	LINE SIZED	-	WATTS REGULATOR 007 DOUBLE CHECK VALVE ASSEMBLY. DOMESTIC WATER SERVICE TO THE BUILDING SHALL BE PROTECTED BY AN APPROVED BACKFLOW PREVENTER AND SHALL BE RATED FOR 150 PSI, TWO POSITIVE SEATING CHECK MODULES WITH CAPTURED SPRINGS AND RUBBER SEAT DISCS. VERIFY APPROVAL WITH UTILITY AND JURISDICTION PRIOR TO INSTALLATION.
BFP-2	BACKFLOW PREVENTER	-	-	LINE SIZED	-	WATTS SERIES 774DCDA DOUBLE CHECK DETECTOR ASSEMBLY. FIRE WATER SERVICE TO THE BUILDING SHALL BE PROTECTED BY AN APPROVED BACKFLOW PREVENTER AND SHALL BE AVAILABLE TO BE INSTALLED IN THE VERTICAL RISER. VERIFY ACTUAL SIZE WITH THE FIRE SPRINKLER CONTRACTOR, AND APPROVAL WITH THE UTILITY AND JURISDICTION PRIOR TO INSTALLATION.

ELECTRIC TANKLESS WATER HEATER SCHEDULE										
UNIT NO.	TYPE	CONTROL	FIXTURE	ELECTRICAL DATA						MANUFACTURER/MODEL NO.
				KW	V	PH	HZ	MCA	MOP	
WH-3	TANKLESS	THERMOSTAT	LAVATORY	4.8	240	1	60	20	25	EEMAX AM005240T

WATER HEATER SHALL HAVE INTEGRAL ASSE 1070 MIXING VALVE

ELECTRIC TANK WATER HEATER SCHEDULE										
UNIT NO.	TANK SIZE GAL.	ELECTRICAL DATA						MANUFACTURER/MODEL NO.		
		KW	V	PH	HZ	MCA	MOP			
WH-1	50	4.5	240	1	60	19	25	BRADFORD WHITE LOWBOY		
WH-2	50	4.5	240	1	60	19	25	BRADFORD WHITE STANDARD		

PLUMBING FIXTURE SCHEDULE					
FIXTURE NO.	TYPE	CW	HW	SAN	VENT
P-1	WATER CLOSET	1/2"	-	3"	1-1/2"
P-2	LAVATORY	1/2"	1/2"	1-1/2"	1-1/2"
P-3	TUB/SHOWER	1/2"	1/2"	1-1/2"	1-1/2"
P-4	KITCHEN SINK	1/2"	1/2"	2"	1-1/2"
P-5	WASHING MACHINE	1/2"	1/2"	2"	1-1/2"

ELECTRIC HEATER SCHEDULE										
UNIT NO.	LOCATION	TYPE	MOUNTING	ELECTRICAL				CONTROLS	MAKE/MODEL	
				KW	V	PH	HZ			
EW-1	BATHROOM	WALL	RECESSED	1.0	120	1	60	INTEGRAL THERMOSTAT	QMARK CWH1101DSAG	

MANUFACTURER SHALL PROVIDE DISCONNECT SWITCH WITH ALL UNITS

EXHAUST FAN SCHEDULE												
UNIT NO.	LOCATION	AREA SERVED	CFM	S.P. INCHES W.G.	TYPE	DRIVE	ELECTRICAL DATA				CONTROLS	MAKE/MODEL
							WATTS	V	PH	HZ		
EF-1	RESTROOM	RESTROOM	80	0.1	COMBO FAN/LGT	DIRECT	200	120	1	60	LIGHT SWITCH	BROAN 679

MANUFACTURER SHALL PROVIDE DISCONNECT SWITCH WITH ALL UNITS

MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
-----	POTABLE COLD WATER (CW)
-----	POTABLE HOT WATER (HW)
-----SAN-----	SANITARY
-----V-----	VENT
AAV	AIR ADMITTANCE VALVE (STUDOR VENT)
-----CD-----	CONDENSATE DRAIN
Ⓢ	TEMPERATURE SENSOR OR THERMOSTAT

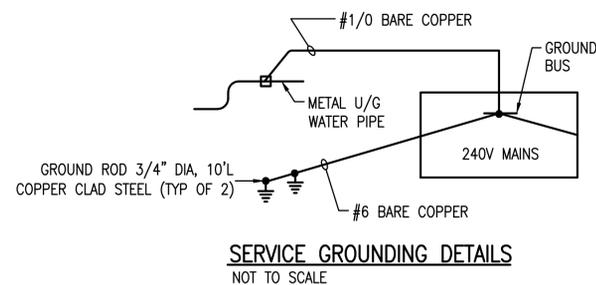
SPLIT-SYSTEM HEAT PUMP SCHEDULE																					
INDOOR UNIT										OUTDOOR UNIT											
UNIT NO.	LOCATION	TYPE	CAPACITY		ELECTRIC DATA			MAKE/MODEL	UNIT NO.	LOCATION	CAPACITY		ELECTRIC DATA			MAKE/MODEL					
			COOLING BTUH	HEATING BTUH	V	PH	HZ				COOLING BTUH	HEATING BTUH	WEIGHT POUNDS	V	PH		HZ	MCA	MOP		
FCU-1A	RETAIL	WALL	11,300	8,600	240	1	60	MITSUBISHI MODEL PKFY-P12NHMU-E2	HP-1	ROOF	56,800	95	43,000	17	320	240	1	60	36	40	MITSUBISHI MODEL PUMY-P60NKMU1
FCU-1B	RETAIL	WALL	22,800	17,200	240	1	60	MITSUBISHI MODEL PKFY-P24NKMU-E2													
FCU-1C	RETAIL	WALL	22,800	17,200	240	1	60	MITSUBISHI MODEL PKFY-P24NKMU-E2													
FCU-2A THRU FCU-8A	APARTMENT	WALL	12,100	8,100	240	1	60	MITSUBISHI MODEL PKA-A12HA7	HP-2 THRU HP-8	ROOF	24,300	95	16,100	17	160	240	1	60	19	25	MITSUBISHI MODEL PUZ-A24NHA7
FCU-2B THRU FCU-8B	APARTMENT	WALL	12,100	8,100	240	1	60	MITSUBISHI MODEL PKA-A12HA7													

PROVIDE CONDENSATE PUMPS IF REQUIRED.

GENERAL ELECTRICAL NOTES

- PROVIDE ALL MATERIALS AND EQUIPMENT AND PERFORM ALL LABOR REQUIRED TO INSTALL COMPLETE AND OPERABLE ELECTRICAL SYSTEMS AS INDICATED ON THE DRAWINGS AND AS REQUIRED BY CODE.
- CONTRACT DOCUMENT DRAWINGS FOR ELECTRICAL WORK ARE DIAGRAMMATIC AND ARE INTENDED TO CONVEY SCOPE AND GENERAL ARRANGEMENT ONLY.
- INSTALL ALL ELECTRICAL EQUIPMENT AND APPURTENANCES IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS, CONTRACT DOCUMENTS, AND APPLICABLE CODES AND REGULATIONS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PAY FOR AND REPAIR ALL DAMAGES CAUSED BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES UNLESS OTHERWISE INDICATED.
- COORDINATE CONSTRUCTION OF ALL ELECTRICAL WORK WITH ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL WORK ETC., SHOWN ON OTHER CONTRACT DOCUMENTS.
- WHEN ELECTRICAL WORK IS SUBCONTRACTED IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO COORDINATE SUBCONTRACTORS AND THE ASSOCIATED CONTRACTS. WHEN DISCREPANCIES ARISE PERTAINING TO WHICH CONTRACTOR PROVIDED A PARTICULAR ITEM OF THE CONTRACT OR WHICH CONTRACTOR PROVIDES THE FINAL CONNECTIONS FOR A PARTICULAR ITEM OF THE CONTRACT IT SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR WHOSE DECISION SHALL BE FINAL.
- ALL OPENINGS IN FIRE WALLS OR FLOORS SLABS DUE TO BOXES, CONDUIT, ETC., SHALL BE FIRE STOPPED.
- FINAL TESTING: AT TIME OF FINAL INSPECTION AND TEST ALL CONNECTIONS AT PANEL BOARDS, DEVICES, AND EQUIPMENT AND ALL SPLICES MUST BE COMPLETED. EACH BRANCH CIRCUIT AND ITS RESPECTIVE CONNECTED EQUIPMENT MUST TEST FREE OF SHORT CIRCUITS. UPON COMPLETION OF THE WORK, CLEAN AND POLISH ALL EXPOSED SURFACES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ELECTRICAL CONTRACTOR SHALL VERIFY THE ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT PRIOR TO INSTALLATION.
- ALL WIRES SHALL BE COPPER WITH 600 VOLT INSULATION UNLESS OTHERWISE NOTED.

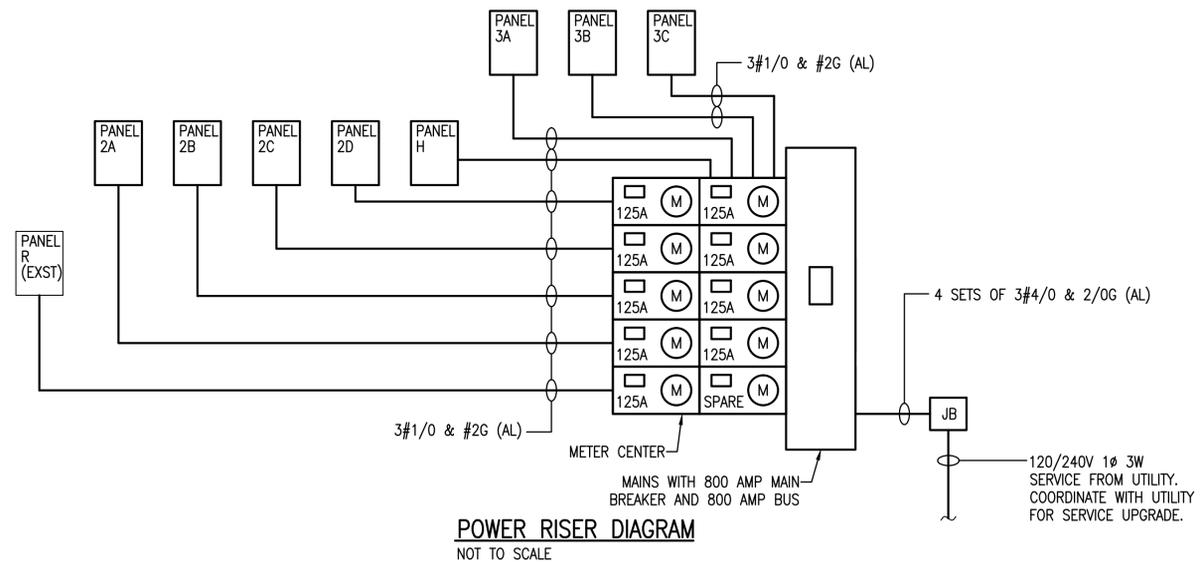
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	TAMPER PROOF DUPLEX RECEPTACLE, 120 VOLTS
	GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE, 120 VOLTS
	WEATHER PROOF GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE, 120 VOLTS
	TAMPER PROOF DUPLEX RECEPTACLE, 120 VOLTS WITH USB OUTLET
	240 VOLT RECEPTACLE
	PANELBOARD, SIZE AS NOTED
	DISCONNECT SWITCH
	SINGLE POLE SWITCH 20A, 277V, 48" AFF
	SINGLE POLE DUAL TECHNOLOGY OCCUPANCY SENSOR 20A, 48" AFF
	EMERGENCY LIGHT WITH BATTERY PACK
	COMBINATION EXIT SIGN AND EMERGENCY LIGHT WITH BATTERY PACK
	SMOKE ALARM, INTERCONNECTED



APARTMENT PANELS 2A, 2B, 2C, 2D, 3A, 3B, 3C													
120/240 VOLTS, 1Ø, 3 WIRE, 200A PANEL										OVER CURRENT DEVICE: 125A			
C K T	V-A	DESCRIPTION	P O L E	B R K R	A W G	A	B	A W G	B R K R	P O L E	DESCRIPTION	V-A	C K T
1	4600	HEAT PUMP	2	25	10	•		12	20	1	KITCHEN	1500	2
3	-	-	-	-	-		•	12	20	1	KITCHEN	1500	4
5	4500	WATER HEATER	2	25	10	•		14	15	1	REFRIGERATOR	-	6
7	-	-	-	-	-		•	14	15	1	DISHWASHER (GFI BREAKER)	-	8
9	10000	RANGE	2	50	8	•		14	15	1	DISPOSAL	-	10
11	-	-	-	-	-		•	12	20	1	MICROWAVE	-	12
13	5000	DRYER	2	30	10	•		12	20	1	BATHROOM	-	14
15	-	-	-	-	-		•	14	15	1	RECEPTACLES	-	16
17	1500	CLOTHES WASHER (GFI BRKR)	1	20	12	•		14	15	1	RECEPTACLES	-	18
19	1000	BATHROOM HEATER	1	15	12	•		14	15	1	LIGHTS	-	20
21	-	-	-	-	-		•	-	-	-	-	-	22
23	-	-	-	-	-		•	-	-	-	-	-	24
TOTAL DEMAND LOAD VA											23,060		
TOTAL DEMAND AMPS PER PHASE											96		

PROVIDE ARC FAULT BREAKERS WHERE REQUIRED IN THE NEC.

HOUSE PANEL H													
120/240 VOLTS, 1Ø, 3 WIRE, 200A PANEL										OVER CURRENT DEVICE: 125A			
C K T	V-A	DESCRIPTION	P O L E	B R K R	A W G	A	B	A W G	B R K R	P O L E	DESCRIPTION	V-A	C K T
1	2400	WATER HEATER	2	25	10	•		14	15	1	LIGHTS	-	2
3	2400	-	-	-	-		•	14	15	1	RECEPTACLES	-	4
5	1000	RESTROOM HEATER	1	15	14	•		12	20	1	ROOF RECEPTACLE	-	6
7	-	-	-	-	-		•	-	-	-	-	-	8
9	-	-	-	-	-		•	-	-	-	-	-	10
11	-	-	-	-	-		•	-	-	-	-	-	12
13	-	-	-	-	-		•	-	-	-	-	-	14
15	-	-	-	-	-		•	-	-	-	-	-	16
17	-	-	-	-	-		•	-	-	-	-	-	18
19	-	-	-	-	-		•	-	-	-	-	-	20
21	-	-	-	-	-		•	-	-	-	-	-	22
23	-	-	-	-	-		•	-	-	-	-	-	24
TOTAL DEMAND LOAD VA											6800		
TOTAL DEMAND AMPS PER PHASE											29		



T. AVERILL ARCHITECT, LLC
165 CONDUIT STREET
ANNAPOLIS, MD 21401
410-268-0179
taarchitect.com

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 29466. EXP. DATE: 07/2020



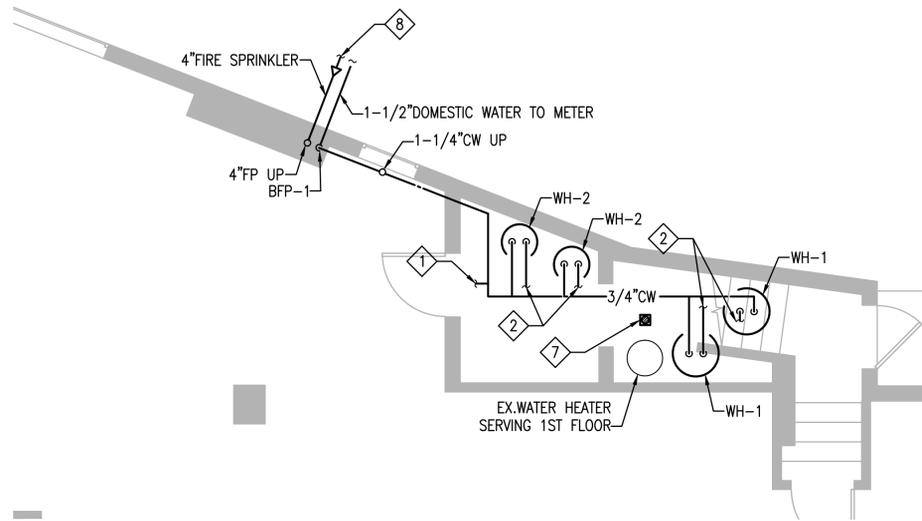
FRANCIS AT MAIN - APARTMENTS
152 Main Street, Annapolis, MD

REV. #	DESCRIPTION	DATE

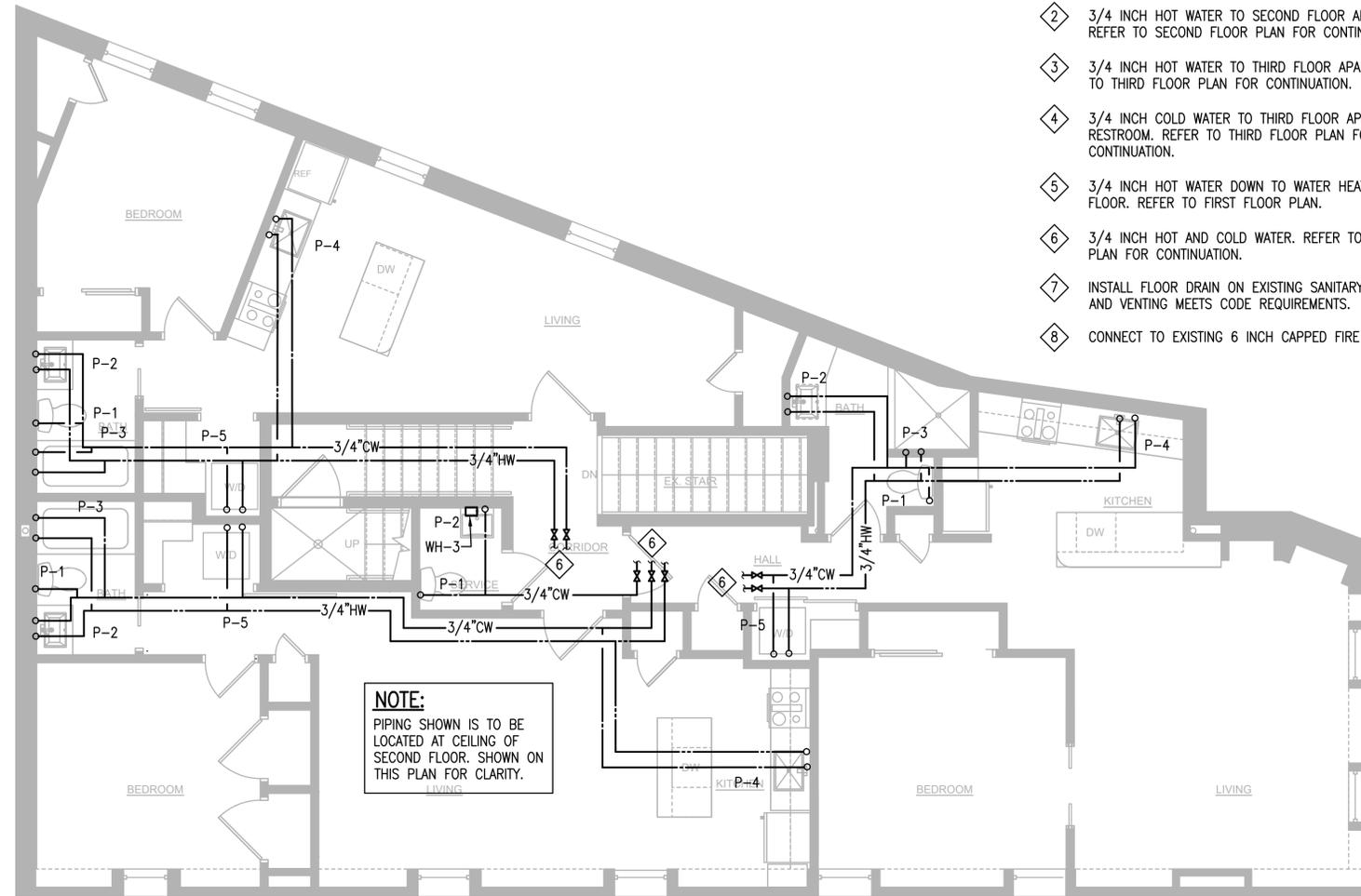
SHEET TITLE:
SCHEDULES AND RISER

PERMIT SET
DRAWING DATE:
05/17/2019
PROJECT #:
1813F
SHEET #:

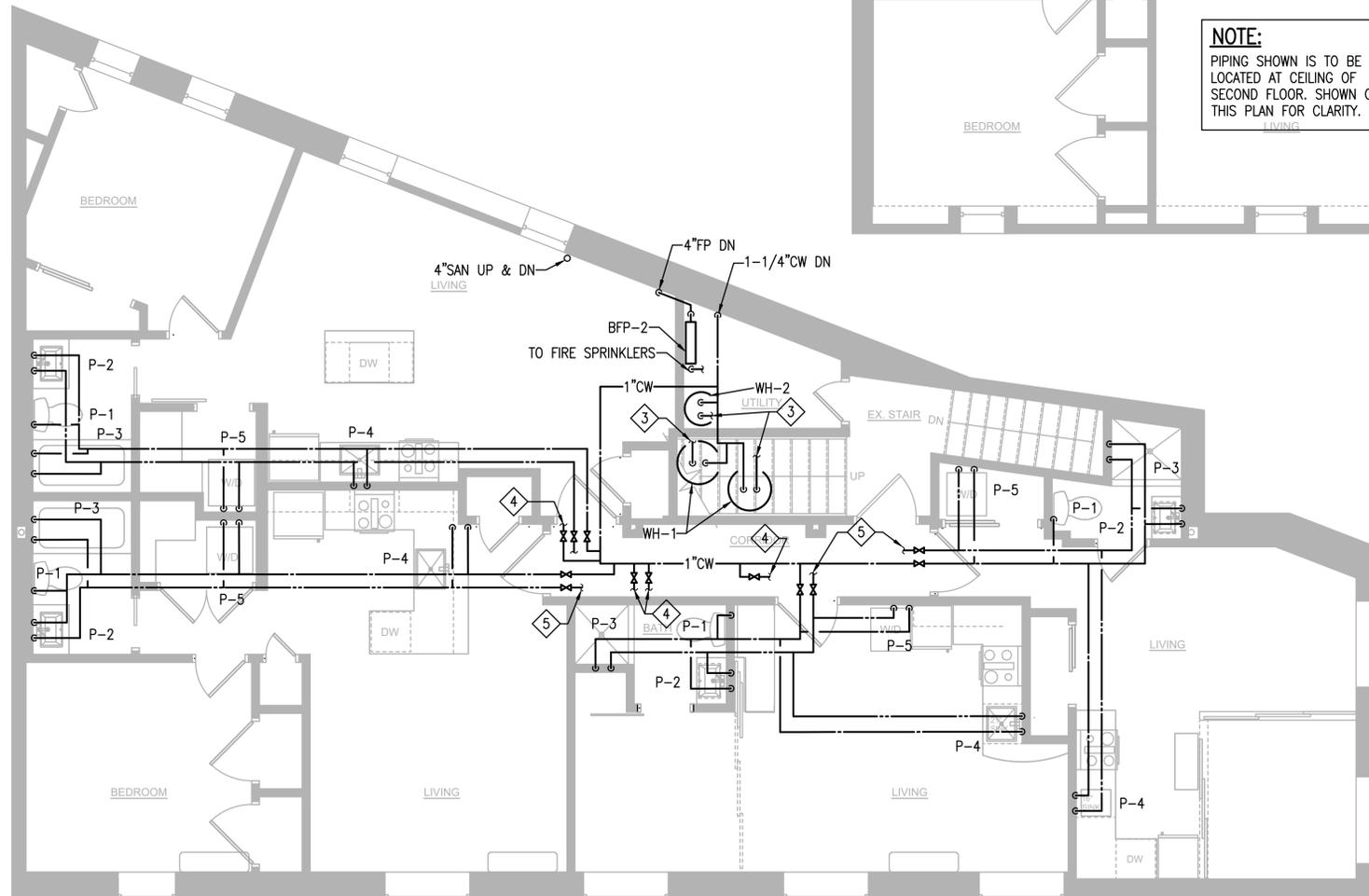
E001
17 OF 24



FIRST FLOOR PARTIAL PLAN
1/4" = 1'-0"



THIRD FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"

- DRAWING NOTES:**
- 1 CONNECT TO EXISTING 3/4 INCH SUPPLY SERVING EXISTING FIRST FLOOR FIXTURES. VERIFY LOCATION IN FIELD.
 - 2 3/4 INCH HOT WATER TO SECOND FLOOR APARTMENTS. REFER TO SECOND FLOOR PLAN FOR CONTINUATION.
 - 3 3/4 INCH HOT WATER TO THIRD FLOOR APARTMENTS. REFER TO THIRD FLOOR PLAN FOR CONTINUATION.
 - 4 3/4 INCH COLD WATER TO THIRD FLOOR APARTMENTS AND RESTROOM. REFER TO THIRD FLOOR PLAN FOR CONTINUATION.
 - 5 3/4 INCH HOT WATER DOWN TO WATER HEATER ON FIRST FLOOR. REFER TO FIRST FLOOR PLAN.
 - 6 3/4 INCH HOT AND COLD WATER. REFER TO SECOND FLOOR PLAN FOR CONTINUATION.
 - 7 INSTALL FLOOR DRAIN ON EXISTING SANITARY. VERIFY TRAP AND VENTING MEETS CODE REQUIREMENTS.
 - 8 CONNECT TO EXISTING 6 INCH CAPPED FIRE SERVICE.

NOTE:
PIPING SHOWN IS TO BE LOCATED AT CEILING OF SECOND FLOOR. SHOWN ON THIS PLAN FOR CLARITY.



T. AVERILL ARCHITECT, L.L.C.
165 CONDUIT STREET
ANNAPOLIS, MD 21401
410-268-0179
tarchitect.com

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 29646. EXP. DATE: 09/2020

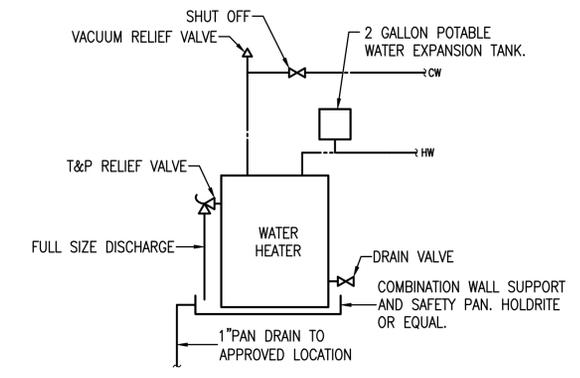
FRANCIS AT MAIN - APARTMENTS
152 Main Street, Annapolis, MD

REV. #	DESCRIPTION	DATE

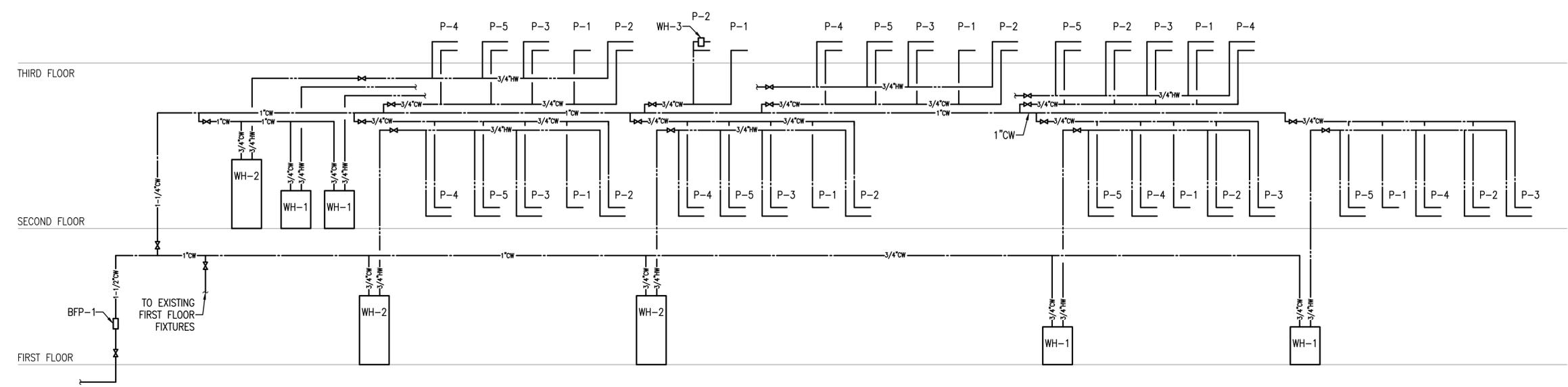
SHEET TITLE:
PLUMBING PLANS

PERMIT SET
DRAWING DATE:
05/17/2019
PROJECT #:
1813F
SHEET #:

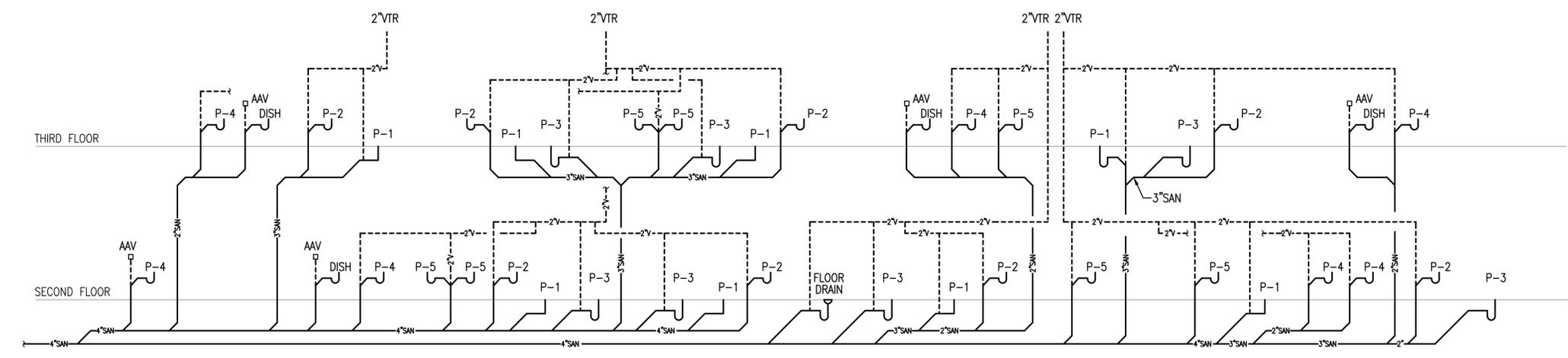
FRANCIS AT MAIN - APARTMENTS
 152 Main Street, Annapolis, MD



WATER HEATER DETAIL
 NOT TO SCALE



NOTE: REFER TO PLUMBING FIXTURE SCHEDULE FOR BRANCH PIPE SIZES
 PROVIDE PIPING TO DISHWASHERS AND ICE MAKERS
WATER SUPPLY RISER DIAGRAM
 NOT TO SCALE



NOTE: REFER TO PLUMBING FIXTURE SCHEDULE FOR BRANCH PIPE SIZES
SANITARY RISER DIAGRAM
 SCALE: NONE

REV. #	DESCRIPTION	DATE

SHEET TITLE:
 RISER DIAGRAMS

PERMIT SET
 DRAWING DATE:
 05/17/2019
 PROJECT #:
 1813F
 SHEET #:

